



## **ARCHITECTURAL REVIEW COMMITTEE MEMORANDUM**

DATE: MAY 20 2024 UNFINISHED BUSINESS

SUBJECT: A REQUEST BY PINNACLE PALM SPRINGS, LLC, FOR A MAJOR ARCHITECTURAL APPLICATION FOR THE CONSTRUCTION OF A NEW 4,090-SQUARE FOOT SINGLE FAMILY RESIDENCE ON A HILLSIDE LOT LOCATED AT 1740 PINNACLE POINT (LOT 9), ZONE PDD 79. (CASE NOS. 3.4335 MAJ & 7.1657 AMM) (AR).

FROM: Department of Planning Services

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### PROJECT DESCRIPTION:

On September 19, 2022, the Architectural Review Committee (ARC) considered the applicant's request for a Major Architectural application to construct a new 4,090-square-foot single-family residence on a hillside lot located at 1740 Pinnacle Point (Lot 9). The proposed maximum building height is 18-feet, single-story. This project is required to be evaluated for consistency against the following guidelines and standards:

- Section 93.13.00 of the Zoning Code (Hillside Development).
- Section 94.04 of the Zoning Code (Architectural Review).

At that meeting, the ARC examined the architectural elevations, site and landscape plans for the proposed development. Ultimately, the ARC voted unanimously to continue the hearing for further study and review due to issues involving the submitted plans. There were concerns regarding insufficient shade and inconsistent design on all four sides of the building. Furthermore, the ARC requested the applicant to remove the LED light stripes on the elevation walls, reduce the number of outdoor ground lights within the planters and replace the Mexican Fan Palms with a more preferred palm.

### RECOMMENDATION:

That the Architectural Review Committee approve the application, subject to the attached conditions of approval.

**BACKGROUND INFORMATION**

Based on the ARC’s direction on the September 19, 2022, meeting, the following changes were made to the proposed plan:

<b>Table 1.1</b>	
	<b><i>Applicant’s Comments</i></b>
Provide consistent elevations on all sides of the building.	The applicant has modified the exterior elevations of the proposed building to create consistency on all sides. The applicant has removed the cement blocks, and angled stucco walls and has replaced the appearance with a natural stone veneer and 90-degree angles on all sides of the structure.
Increase shade to the main house.	The applicant has extended the roof line significantly on the west elevation, where there is a 7 to 13-foot overhang. Additionally, there is a 5-foot overhang on the east elevation and 2-foot overhang on the south elevation. This extension will provide much needed shade to the main house.
Remove LED lights and reduce the number of lights in the landscape area.	The LED lights that were originally located on the northeast elevation of the structure have been removed. Instead, recessed canned lights will be utilized and placed underneath the roof overhangs. The number of uplighting fixtures that are proposed to be placed within the landscaped area have been reduced from 24 fixtures to 16.
Modify Landscape	All Mexican Fan Palms have been removed and replaced with Pygmy Date Palm.

**ADMINISTRATIVE MINOR MODIFICATION**

The minimum front yard setback is 25 feet and the minimum side yard setback is 10 feet. Pursuant to Palm Springs Zoning Code Section 94.06.01-Minor Modifications, an applicant can request a reduction in these setbacks. Section 94.06.01(A)(5) states, “Reduction of yards and by not more than 20% of the requirement of the zone” may be considered. Section 94.06.01(10) states, “for areas with a grade of ten (10) percent or more, modification of building height to a maximum of thirty (30) feet and modification of front yard to a minimum of ten (10) feet, upon approval of a site plan, approval shall be based on the finding that such minor modification will not have detrimental effect upon adjacent properties.”

The applicant is requesting a 10-foot front yard setback and an 8-foot side yard setback. The following table lists the required criteria and findings that must be made to allow such modifications.

Administrative Minor Modification (AMM) Criteria and Findings:  
PSZC Section 94.06.01(B)(3) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

	<i>Criteria and Findings [PSZC 94.06.01(B)(3)]</i>	<i>Compliance</i>
1.	<p><i>The requested minor modification is consistent with the general plan, applicable specific plan(s) and overall objectives of the zoning ordinance.</i></p> <p>The General Plan land use designation of the subject property is Estate Residential (ER) (0-2.0 dwelling units per acre), and the property is zoned Planned Development District-79. The proposed project will comply with the applicable zoning regulations, and it will not affect the density or intensity of the existing land use. Therefore, staff finds that the project is consistent with the General Plan and overall objectives of the zoning ordinance.</p>	Y
2.	<p><i>The neighboring properties will not be adversely affected as a result of the approval or conditional approval of the minor modification.</i></p> <p>The adjacent properties will not be affected by this minor deviation. Lot 9 is an irregular shaped lot and does not share a property line with any adjacent neighbor, as shown on TTM 17470 (Attachment 7). The proposed house will face the east and adjacent properties across the street will not be affected.</p>	Y
3.	<p><i>The approval or conditional approval of the minor modification will not be detrimental to the health, safety, or general welfare of persons residing or working on the site or in the vicinity.</i></p> <p>All building and renovations will be required to be built according to the Uniform Building Code and the Palm Springs Zoning Code as modified by this Administrative Minor Modification (AMM), and Fire Code. Additionally, the applicant shall comply with all conditions associated with the approval of Case # 3.4335 MAJ. Therefore, the approval of this AMM will not be detrimental to the health, safety, or general welfare of persons residing or working on the site or in the vicinity.</p>	Y
4.	<p><i>The approval of the minor modification is justified by environmental features, site conditions, location of existing improvements, or historic development patterns of the property or neighborhood.</i></p> <p>The project site is located on a private street within the hillside area. The applicant is proposing a 10-foot front yard setback, instead of the required 20-foot front yard setback and a 2-foot reduction on the north side yard instead of the required 10-foot setback. Due to the natural topography and irregular shape of the project site, the approval of this Administrative Minor Modification (AMM) is justified by site conditions.</p>	Y, with AMM

ENVIRONMENTAL ANALYSIS:

The proposed development is considered a “project” pursuant to the terms of the California Environmental Quality Act (“CEQA”) and has been determined to be categorically exempt pursuant to Section 15303(a) of the CEQA Guidelines (Class 3, New Single-Family Residence).

CONCLUSION:

The proposed project has been modified in response to the recommendations requested by the Architectural Review Committee. Those modifications are summarized in Table 1.1 above. Overall, the project conforms with the architectural design guidelines. Staff recommends the ARC approve the project subject to the attached conditions of approval.

PREPARED BY:	Alex Rubalcava, Assistant Planner
REVIEWED BY:	Edward Robertson, Principal Planner
REVIEWED BY:	Christopher Hadwin, Director of Planning

ATTACHMENTS:

1. Vicinity Map
2. Resolution and Conditions of Approval
3. Justification Letter
4. Public Disclosure Form
5. September 19, 2022, ARC Memo
6. September 19, 2022 Minutes
7. Tract Map 17470
8. Architecture Plans



# Department of Planning Services Vicinity Map



**CITY OF PALM SPRINGS**  
1740 Pinnacle Point

RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE ARCHITECTURAL REVIEW COMMITTEE OF THE CITY OF PALM SPRINGS, CALIFORNIA, DENYING A MAJOR ARCHITECTURAL APPLICATION FOR DEVELOPMENT OF 4,090-SQUARE FOOT SINGLE FAMILY RESIDENCE ON A HILLSIDE LOT LOCATED AT 1740 PINNACLE POINT (CASE 3.4335 MAJ &7.1657 AMM).

THE ARCHITECTURAL REVIEW COMMITTEE FINDS AND DETERMINES AS FOLLOWS:

A. PINNACLE PALM SPRINGS, LLC, Owner (“Applicant”) filed an application with the City, pursuant to the Palm Springs Zoning Code (PSZC) Sections 94.04.00 (architectural review) and 93.13.00 (hillside development) of the Palm Springs Zoning Code, for construction of a 4,090-square foot single family residence located at 1740 Pinnacle Point (“the Project”).

B. On April 8, 2021, the City Council adopted Ordinance No. 2042, amending Section 94.04.00 of the PSZC to reassign review of Major Architectural Review (MAJ) applications from the City’s Planning Commission to the City’s Architectural Review Committee.

B. On May 9, 2024, City staff notified the owners of properties immediately adjacent to the Project site of the scheduling of an Architectural Review Committee meeting to consider the subject application, pursuant to PSZC 93.13.00 (B,1,c).

C. On May 20, 2024, the City’s Architectural Review Committee held a public meeting in accordance with applicable public law. At said meeting, the Architectural Review Committee carefully reviewed and considered all of the evidence presented in connection with the Project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE ARCHITECTURAL REVIEW COMMITTEE RESOLVES:

Section 1: The proposed single-family residence is considered a project pursuant to the California Environmental Quality Act (CEQA). The Architectural Review Committee has evaluated the Project pursuant to CEQA and determined it to be Categorically Exempt from further analysis under CEQA Guidelines Section 15303(a) (Class 3, New Single-Family Residence).

Section 2: As demonstrated in the staff report, the Project conforms to the Architectural Guidelines of PSZC Sections 93.13.00 (“hillside development”) and 94.04.00 (“architectural review”);

Section 3: Based upon the foregoing, the Architectural Review Committee hereby approves Case 3.4335 MAJ, for the construction of a 4,090-square foot single-family residence on a hillside lot located at 1740 Pinnacle Point, as submitted.

ADOPTED this 20th day of MAY 2024.

AYES:  
NOES:  
ABSENT:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

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Chris Hadwin  
Director of Planning Services

# ARCHITECTURAL REVIEW COMMITTEE

## RESOLUTION NO.

### CONDITIONS OF APPROVAL

Case 3.4335 MAJ  
Proposed Single Family Residence.  
Located at 1740 Pinnacle Point  
PDD 79  
May 20, 2024

### CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

### ADMINISTRATIVE CONDITIONS

- ADM 1. Project Description. This approval is for the project described per Case (3.4335 MAJ).
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, date stamped (May 20, 2024), including site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Planning Division except as modified by the approved Mitigation Measures and conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative

- officers concerning Case 3.4335 MAJ. The City of Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.
- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.
- ADM 7. Time Limit on Approval. Approval of the Major Architectural Approval shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.
- ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. Permits will not be issued until the appeal period has concluded.

## **PLANNING DEPARTMENT CONDITIONS**

- PLN 1. Outdoor Lighting Conformance. Exterior lighting plans, including a photometric site plan showing the project's conformance with Section 93.21.00 Outdoor Lighting Standards of the Palm Springs Zoning ordinance, shall be submitted for approval by the Department of Planning prior to issuance of a building permit. Manufacturer's cut sheets of all exterior lighting on the building and in the landscaping shall be included. If lights are proposed to be mounted on buildings, down-lights shall be utilized. No lighting of hillsides is permitted.

- PLN 2. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.
- PLN 3. Flat Roof Requirements. Roof materials on flat roofs (less than 2:12) must conform to California Title 24 thermal standards for "Cool Roofs". Such roofs must have a minimum initial thermal emittance of 0.75 or a minimum SRI of 64 and a three-year aged solar reflectance of 0.55 or greater. Only matte (non-specular) roofing is allowed in colors such as beige or tan.
- PLN 4. Maintenance of Awnings & Projections. All awnings shall be maintained and periodically cleaned.
- PLN 5. Screen Roof-mounted Equipment. All roof mounted mechanical equipment shall be screened per the requirements of Section 93.03.00 of the Zoning Ordinance.
- PLN 6. Surface Mounted Downspouts Prohibited. No exterior downspouts shall be permitted on any facade on the proposed building(s) that are visible from adjacent streets or residential and commercial areas.
- PLN 7. Pool Enclosure Approval Required. Details of fencing or walls around pools (material and color) and pool equipment areas shall be submitted for approval by the Planning Department prior to issuance of Building Permits.
- PLN 8. Exterior Alarms & Audio Systems. No sirens, outside paging or any type of signalization will be permitted, except approved alarm systems.
- PLN 9. Outside Storage Prohibited. No outside storage of any kind shall be permitted except as approved as a part of the proposed plan.
- PLN 10. No off-site Parking. Vehicles associated with the operation of the proposed development including company vehicles or employees vehicles shall not be permitted to park off the proposed building site unless a parking management plan has been approved.
- PLN 11. Pad Elevations. Final building pad elevations shall not vary more than 12 inches above or below the pad elevation established by the approved preliminary grading plan and / or tentative map. Any deviations from this provision shall require approval by the Planning Commission.

## **BUILDING DEPARTMENT CONDITIONS**

BLD 1. Prior to any construction on-site, all appropriate permits must be secured.

## **ENGINEERING CONDITIONS**

The Engineering Services Department recommends that if this application is approved, such approval is subject to the following conditions being completed in compliance with City standards and ordinances.

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer.

All Grading Plans, Improvement Plans, Required Studies and Documents listed below, must be submitted to Engineering Services Department for review and approval.

## **STREETS**

- ENG 1. Any improvements within the public right-of-way require a City of Palm Springs Encroachment Permit. All improvements are subject to inspection and a 48-hour inspection notification is required.
- ENG 2. A Road and Bridge Impact Fee of \$2,704 per single family residential unit; as well as a Fire Station Fee of \$469.00 per acre for single family residential units and \$1,875 per multi-family residential units shall be paid (or as may be adjusted annually) in accordance with Chapter 9.69.040 and 9.69.060 of the Palm Springs Municipal Code, shall be paid prior to issuance of a building permit.
- ENG 3. **Provide proposed finish floor elevations of all proposed structures, existing structures on site, and all adjacent off-site structures. This information required prior to site plan approval.**

## **PINNACLE POINT (PRIVATE STREET)**

- ENG 4. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

## **SANITARY SEWER**

- ENG 5. All sanitary facilities shall be connected to the public sewer system. New laterals shall not be connected at manholes.

## GRADING

ENG 6. Submit a Precise Grading Plan prepared by a California registered Civil engineer to the Engineering Services Department for review and approval. The Precise Grading Plan shall be approved by the City Engineer prior to issuance of grading permit.

a. A Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Services Department for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's or its contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Services Department with current and valid Certificate(s) of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related "PM10" Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Services Department prior to approval of the Grading plan.

b. The first submittal of the Grading Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of Soils Report; and a copy of the associated Hydrology Study/Report.

ENG 7. No ground disturbance activities in open space areas until evidence is provided to the City Engineer demonstrating that written HOA approval has been given. No final approval will be issued until the disturbed open space area is re-naturalized to the written satisfaction of the HOA.

ENG 8. Prior to approval of a Grading Plan (or issuance of a Grading Permit), the applicant shall obtain written approval to proceed with construction from the Agua Caliente Band of Cahuilla Indians, Tribal Historic Preservation Officer or Tribal Archaeologist (a copy of the written approval must be provided to the City). The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at [ACBCI-](#)

[THPO@aguacaliente.net](mailto:THPO@aguacaliente.net) to determine their requirements, if any, associated with grading or other construction. The applicant is advised to contact the Tribal Historic Preservation Officer or Tribal Archaeologist as early as possible. If required, it is the responsibility of the applicant to coordinate scheduling of Tribal monitors during grading or other construction, and to arrange payment of any required fees associated with Tribal monitoring.

- ENG 9. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed prior to issuance of Grading Permit and commencement of grading operations.
- ENG 10. Temporary dust control perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 11. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ENG 12. In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of eight hundred dollars (\$800) (if there is disturbance of 5,000 square feet or more) at the time of issuance of grading permit for mitigation measures for erosion/blowsand relating to this property and development.
- ENG 13. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Services Department with the first submittal of a grading plan. (if required)
- ENG 14. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved grading plan shall be certified by a California registered geotechnical or civil engineer, certifying that all grading was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be provided even though there may not be a grading plan for the project. Prior to issuance of Building Permits.

- ENG 15. The applicant shall provide Grading Certification for all building (or structure) pads in conformance with the approved grading plan (if required), to the Engineering Services Department for review and approval.
- ENG 16. In cooperation with the California Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (Revised - RIFA Form CA-1) prior to approval of the Grading Plan (if required). The California Department of Food and Agriculture office is located at 6819 East Gage Avenue, Commerce, CA 90040 (Phone (760) 782-3271, (562) 505-6415), [Sonia.Oran@cdfa.ca.gov](mailto:Sonia.Oran@cdfa.ca.gov).

#### DRAINAGE

- ENG 17. All stormwater runoff across the property shall be accepted and conveyed in a manner acceptable to the City Engineer and released to an approved drainage system. Stormwater runoff may not be released directly to the adjacent streets without first intercepting and treating with approved Best Management Practices (BMPs).
- ENG 18. All stormwater runoff passing through the site shall be accepted and conveyed across the property in a manner acceptable to the City Engineer. For all stormwater runoff falling on the site, on-site retention or other facilities approved by the City Engineer shall be required to contain the increased stormwater runoff generated by the development of the property. Provide a hydrology study to determine the volume of increased stormwater runoff due to development of the site, and to determine required stormwater runoff mitigation measures for the proposed development. Final retention basin sizing and other stormwater runoff mitigation measures shall be determined upon review and approval of the hydrology study by the City Engineer and may require redesign or changes to site configuration or layout consistent with the findings of the final hydrology study. No more than 40-50% of the street frontage parkway/setback areas should be designed as retention basins. On-site open space, in conjunction with dry wells and other subsurface solutions should be considered as alternatives to using landscaped parkways for on-site retention.
- ENG 19. The project is subject to an "Area Benefit Fee" drainage fee of \$4,213.00 per acre of single family residential development, in accordance with Chapter 9.69.040, or as may be adjusted annually in accordance with

Chapter 9.69.060 of the Palm Springs Municipal Code. The drainage fee shall be paid prior to issuance of a building permit.

## GENERAL

- ENG 20. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115.
- ENG 21. All proposed utility lines shall be installed underground.
- ENG 22. All existing utilities shall be shown on the improvement plans if required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.
- ENG 23. Upon approval of any improvement plan (if required) by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD drawing filetype), DXF (AutoCAD ASCII drawing exchange filetype), and PDF (Adobe Acrobat document filetype) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval by the City Engineer.
- ENG 24. The original improvement plans prepared for the proposed development and approved by the City Engineer (if required) shall be documented with record drawing "as-built" information and returned to the Engineering Services Department prior to issuance of a final certificate of occupancy. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.
- ENG 25. Nothing shall be constructed or planted in the corner cut-off area of any driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.
- ENG 26. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers installed in accordance with City of Palm Springs Standard Drawing No. 904.
- ENG 27. This property is subject to the Coachella Valley Multiple Species Habitat Conservation Plan Local Development Mitigation Fee (CVMSHCP-LDMF). The LDMF shall be paid prior to issuance of Building Permit.

## TRAFFIC

- ENG 28. All damaged, destroyed, or modified pavement legends, traffic control devices, signing, striping, and streetlights, associated with the proposed development shall be replaced as required by the City Engineer prior to issuance of a Certificate of Occupancy.
- ENG 29. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 “Temporary Traffic Control” of the California Manual on Uniform Traffic Control Devices (CAMUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.
- ENG 30. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

### **FIRE DEPARTMENT CONDITIONS**

FID 1. These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire codes. Detailed plans are still required for review. Conditions are subject to final plan check and review.

FID 2. Fire Department Conditions were based on the 2019 California Fire Code as adopted by City of Palm Springs, Palm Springs Municipal Code, PSFD Appendix “T” Development Requirements. This building will require fire sprinklers.

FID 3. **Conditions of Approval** – “Conditions of Approval” received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.

#### **FID 4. Plans and Permits (CFC 105.1):**

Permits and scaled drawings are required for this project. Plan reviews can take up to 20 working days. Submit a minimum of three (3) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set. Plans shall be submitted to:

City of Palm Springs  
Building and Safety Department  
3200 E. Tahquitz Canyon Way  
Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer's technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall include all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supporting data, (calculations and manufacturers technical data sheets) including fire flow data, shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

**FID 5. Access During Construction (CFC 503):** Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 24 feet and an unobstructed vertical clearance of not less than 13'-6". Fire Department access roads shall have an all-weather driving surface and support a minimum weight of 73,000 lbs.

**FID 6. Required access (CFC 504.1):** Exterior doors and openings required by this code or the California Building Code shall be maintained readily accessible for emergency access by the fire department. An approved access walkway leading from fire apparatus access roads to exterior openings shall be provided when required by the fire code official.

**FID 7. NFPA 13D Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13D, 2016 Editions, as modified by local ordinance.

**FID 8. Residential Smoke Alarms Required:** Shall be interconnected so that operation of any smoke alarm or fire sprinkler flow switch causes all smoke alarms within the dwelling & guest house to sound and activate the exterior horn/strobe.

**END OF CONDITIONS**



# JUSTIFICATION LETTER

## SITE DESCRIPTION FOR THE VACANT LOT #9 LOCATED AT 1740 PINNACLE POINT ROAD

### PALM SPRINGS, CALIFORNIA

#### **PURPOSE:**

Application for variance on setbacks and building height due to topography conditions.

#### **LOCATION:**

South end of Palm Springs in the Andreas Hills area. Cross streets are Bogert Trail and Avenida Sevilla.

#### **SITE DESCRIPTION:**

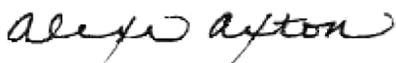
Pinnacle Point is a hillside cul-de-sac neighborhood consisting of a total of 12 lots with 5 homes already built with several other under construction. Currently there are 5 unimproved lots. The subject vacant lot is located at the top of the roadway on the left side. The lot overlooks the Andreas Hills area below with views out to the surrounding mountains of South Palm Springs. The property is approximately 12,701 square feet (SF) or 0.29 acres configured in an irregular rectangular shape sitting on mountainous rocky slopes of the hillside. The infrastructure of Pinnacle Point was developed sometime around 2005 with roads and utilities. Three homes were built prior to the 2008 financial crisis.

The geologic characteristics of the community are mostly rock mountainside with large scattered boulders. The proposed construction will stabilize the existing surrounding slopes as well as the pad itself from wind and rain erosion. Cleaning any discharge from the site and controlling erosion will serve to improve the conditions downstream.

#### **FINDINGS:**

The existing residences along the uphill portion near the top of Pinnacle Point Road have experienced similar "hillside grading" situations as demonstrated by their designs with modified setbacks and retaining walls offering relief. The proposed design for the home is consistent with the surrounding neighbors' designs and the residential nature of the site is also consistent with the neighborhood and the City's General Plan. The proposed style of the home is also consistent with Palm Springs that feature open architecture with midcentury modern design elements, pools overlooking the valley floor and low impact design philosophies. Approval of the proposed reduction in the front setback and building height will allow for this project to move forward on a lot and pad that has sat unused for over 15 years.

Sincerely,



Alexa Axton

Member – Pinnacle Palm Springs, LLC



## PUBLIC INTEGRITY DISCLOSURE APPLICANT DISCLOSURE FORM

1. Name of Entity
Pinnacle Palm Springs, LLC
2. Address of Entity (Principle Place of Business)
PO Box 1573 Rancho Mirage CA 92270
3. Local or California Address (if different than #2)
4. State where Entity is Registered with Secretary of State
California
<i>If other than California, is the Entity also registered in California?</i> <input type="checkbox"/> Yes <input type="checkbox"/> No
5. Type of Entity
<input type="checkbox"/> Corporation <input checked="" type="checkbox"/> Limited Liability Company <input type="checkbox"/> Partnership <input type="checkbox"/> Trust <input type="checkbox"/> Other (please specify)
6. Officers, Directors, Members, Managers, Trustees, Other Fiduciaries (please specify) <i>Note: If any response is not a natural person, please identify all officers, directors, members, managers and other fiduciaries for the member, manager, trust or other entity</i>
Alexa Axton _____ <input type="checkbox"/> Officer <input type="checkbox"/> Director <input type="checkbox"/> Member <input checked="" type="checkbox"/> Manager [name]
_____ <input type="checkbox"/> General Partner <input type="checkbox"/> Limited Partner <input type="checkbox"/> Other _____
_____ <input type="checkbox"/> Officer <input type="checkbox"/> Director <input type="checkbox"/> Member <input type="checkbox"/> Manager [name]
_____ <input type="checkbox"/> General Partner <input type="checkbox"/> Limited Partner <input type="checkbox"/> Other _____
_____ <input type="checkbox"/> Officer <input type="checkbox"/> Director <input type="checkbox"/> Member <input type="checkbox"/> Manager [name]
_____ <input type="checkbox"/> General Partner <input type="checkbox"/> Limited Partner <input type="checkbox"/> Other _____

7. Owners/Investors with a 5% beneficial interest in the Applicant Entity or a related entity	
<b>EXAMPLE</b>  <i>JANE DOE</i> <hr/> [name of owner/investor]	  <i>50%, ABC COMPANY, Inc.</i> <hr/> [percentage of beneficial interest in entity and name of entity]
<b>A.</b>  Alexa Axton <hr/> [name of owner/investor]	  100% <hr/> [percentage of beneficial interest in entity and name of entity]
<b>B.</b>  <hr/> [name of owner/investor]	  <hr/> [percentage of beneficial interest in entity and name of entity]
<b>C.</b>  <hr/> [name of owner/investor]	  <hr/> [percentage of beneficial interest in entity and name of entity]
<b>D.</b>  <hr/> [name of owner/investor]	  <hr/> [percentage of beneficial interest in entity and name of entity]
<b>E.</b>  <hr/> [name of owner/investor]	  <hr/> [percentage of beneficial interest in entity and name of entity]

**I DECLARE UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING IS TRUE AND CORRECT.**

Signature of Disclosing Party, Printed Name, Title	Date
<i>Alexa Axton</i>	5-13-24

**PENALTIES**  
 Falsification of information or failure to report information required to be reported may subject you to administrative action by the City.



## **ARCHITECTURAL REVIEW COMMITTEE MEMORANDUM**

DATE: SEPTEMBER 19, 2022 NEW BUSINESS

SUBJECT: REQUEST BY PINNACLE PALM SPRINGS, LLC, FOR A MAJOR ARCHITECTURAL APPLICATION FOR THE CONSTRUCTION OF A 3,953-SQUARE FOOT HOUSE ON A HILLSIDE LOT LOCATED AT 1740 PINNACLE POINT (LOT 9), ZONE PDD 79. (CASE NOS. 3.4335 MAJ & 7.1657 AMM) (AR).

FROM: Department of Planning Services

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### PROJECT DESCRIPTION:

This is a request for a Major Architectural Application (MAJ) for the construction of a one-story 3,953-square foot house on a hillside lot with maximum height of eighteen feet located in the Planned Development known as Pinnacle Point (PDD 79).

### ISSUES:

- Inconsistent design on all sides.
- Sun exposure due to inadequate shading devices.

### RECOMMENDATION:

That the Architectural Review Committee deny the application as proposed or continue for design enhancements including:

1. Provide adequate sun control elements, particularly on the west elevations and pool deck area.
2. Enhance the front (east) elevation with architectural features and windows and make them consistent on all elevations.

### BUSINESS PRINCIPAL DISCLOSURE:

The Public Integrity Disclosure form is included as an attachment to this report.

**BACKGROUND INFORMATION:**

<i>Related Relevant City Actions</i>	
02/04/1981	City Council adopted Resolution #13676 approving Planned Development District (PDD 79) for a 12-lot subdivision on 12.5-acres in the Urban Reserve (UR) zone.

<i>Neighborhood Meeting/Neighborhood Notice</i>	
08/08/22	Notice mailed by staff to adjacent property owners notifying that the subject application had been filed with the Planning Division, in accordance with 93.13.00 of the Zoning Code.
09/08/22	Notice mailed by staff to adjacent property owners notifying that the subject project would be reviewed by the Architectural Review Committee on SEPTEMBER 19, 2022.
09/08/22	The surrounding neighborhood organizations within a mile of the site were sent notice that the proposed project would be reviewed by the Architectural Review Committee on SEPTEMBER 19, 2022.

**STAFF ANALYSIS:**

<i>Site Area</i>	
Net Acres	0.29 Acres

<i>General Plan and Zoning Designations</i>		
<i>General Plan Designation</i>	<i>Permitted Density</i>	<i>Compliance</i>
Estate Residential (ER)	0-2.0 DU/AC	Y
<i>Zoning Designation</i>		
PD, PDD 79		

PSZC Section 94.04.00(E)(13) requires that the proposed application be consistent with any adopted Specific Plan or Planned Development District Design Standards:

Development Standards:

Pursuant to PSZC Section 92.01.03, the following development standards apply:

<i>Standard</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Setbacks			
• Front	20 Feet	15 Feet	Y, with AMM
• Side (north)	10 Feet	10 Feet	Y
• Side (west)	10 Feet	10 Feet	Y
• Rear	15 Feet	>15 Feet	Y
Max. Lot Coverage	35%	31.12%	Y

<i>Standard</i>	<i>Required/ Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Max. Building Height	12 Feet @ Setback, 18 Feet max	18 Feet	Y
Building Separation	6 Feet	N/A	N/A
Perimeter Wall Height			
• North	6 Feet	6 Feet	Y
• South	6 Feet	6 Feet	Y
• East (Front)	4.5 Feet on P.L.	N/A	N/A
• West (Rear)	6 Feet	6 Feet	Y
Parking	2 spaces (covered)	2 spaces (covered)	Y

Hillside Review Criteria:

PSZC Section 93.13.00(B)(4) requires that architectural review of hillside development shall consider the following criteria:

	<i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i>	<i>Compliance</i>
1.	<i>Rock and soil exposure;</i> The lot is located within the PD zone, under Planned Development District No. 79 and Tract Map No. 17470 for a twelve (12) lot, single-family hillside subdivision. The proposed dwelling is nestled into a naturalized desert setting where additional desert landscape is proposed.	Y
2.	<i>Size of building pad;</i> The size of the building pad is expected to be approximately 3,953-square feet in size, which is comparable to those in the surrounding area. The adjacent homes in this development range in size, from 4,333-square feet to 9,255-square feet in size. The proposed house will be smaller than the existing homes.	Y
3.	<i>Design considerations, such as supporting stilts, colors and building arrangement;</i> The proposed home is modern in its design and consists of a neutral color scheme. Supporting stilts are not required or proposed.	Y
4.	<i>Screening of parking areas;</i> Parking is proposed in an enclosed 2-car garage. The garage will have a setback of 18-feet, which will allow vehicles to adequately park within the driveway without encroaching into the public right-of-way. Due to the irregular shape of the lot, the garage is unable to be screened; however, a screened parking area is not required within this development.	Y
5.	<i>Landscaping plans;</i>	Y

	<i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i>	<i>Compliance</i>
	The project proposes to maintain existing landscaping and introduce new drought-tolerant plant species in a naturalized desert setting. The proposed plant species consist of: Washington Robusta Palm, Ficus Nitida, Spineless Yucca, Pygmy Date Palm, Blue Agave, Agave Americana, Native Grasses, and Golden Barrel Cactus. The ground cover will consist of desert blend gravel.	
6.	<i>Continuity with surrounding development;</i> The proposed home is complementary with the existing residential development on the street. The developer has built at least three other homes on this street, all of which have a similar design and aesthetic.	Y
7.	<i>Sensitivity to existing view corridors.</i> The home is nestled into the site such that it respects the westerly views from homes on the east. The existing residential units to the south and west are situated below the proposed development. The proposed single-family dwelling unit will not negatively affect existing view corridors.	Y

Pursuant to Palm Springs Zoning Code Section 94.06.01 (A)(10), “for areas with a grade of ten (10) percent or more, modification of building height to a maximum of thirty (30) feet and modification of front yard to a minimum of ten (10) feet, upon approval of a site plan...approval shall be based on the finding that such minor modification will not have detrimental effect upon adjacent properties.”

Administrative Minor Modification (AMM) Criteria and Findings:

PSZC Section 94.06.01(B)(3) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

	<i>Criteria and Findings [PSZC 94.06.01(B)(3)]</i>	<i>Compliance</i>
1.	<i>The requested minor modification is consistent with the general plan, applicable specific plan(s) and overall objectives of the zoning ordinance.</i>  The General Plan land use designation of the subject property is Estate Residential (ER) (0-2.0 dwelling units per acre), and the property is designated Planned Development District-79. The proposed project will comply with the applicable zoning regulations, and it will not affect the density or intensity of the existing land use. Therefore, staff finds that the project is consistent with the General Plan and overall objectives of the zoning ordinance.	Y
2.	<i>The neighboring properties will not be adversely affected as a result of the approval or conditional approval of the minor modification.</i>	Y

	<i>Criteria and Findings [PSZC 94.06.01(B)(3)]</i>	<i>Compliance</i>
	The adjacent properties will not be affected by this minor deviation. The proposed house faces east and the adjacent properties across the street will not be affected.	
3.	<i>The approval or conditional approval of the minor modification will not be detrimental to the health, safety, or general welfare of persons residing or working on the site or in the vicinity.</i>	Y
	All building and renovations will be required to be built to the Uniform Building Code and the Palm Springs Zoning Code as modified by this Administrative Minor Modification (AMM), and Fire Code. Additionally, the applicant shall comply with all conditions associated with the approval of Case # 3.4335 MAJ. Therefore, the approval of this AMM will not be detrimental to the health, safety, or general welfare of persons residing or working on the site or in the vicinity.	
4.	<i>The approval of the minor modification is justified by environmental features, site conditions, location of existing improvements, or historic development patterns of the property or neighborhood.</i>	Y
	The project site is located on a private street within the hillside area. Due to the natural topography and irregular shape of the project site, the applicant is proposing a 15-foot front yard setback, instead of the required 20-foot front yard setback. Therefore, the approval of this Administrative Minor Modification (AMM) is justified by site conditions.	

Architectural Review Criteria and Findings:

PSZC Section 94.04.00(E) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
1.	<i>The architectural treatment is consistent on all four sides of the proposed building(s), unless otherwise approved by the ARC;</i>	N
	The architecture is not consistent on all sides; the front consists of square framed elevation with angular surfaces with no windows facing towards the street. Some portions of the home have eaves, others are box-like with no eaves and no articulation. The project is not consistent in this regard.	
2.	<i>The design of accessory structures, such as carports, cabanas, and similar accessory structures, shall be consistent with the form, materials and colors of the principal building(s), unless otherwise approved by the ARC;</i>	N/A
	No accessory structures are proposed.	
3.	<i>The façade elements and fenestration are composed in a harmonious manner;</i>	N

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
	There is no overall composition of the fenestration on this dwelling. The poolside has expansive glass and a rather high eave line that does not adequately protect the glass and interior of the residence from direct solar exposure. Windows on other elevations are narrow horizontal fixed panels of glass with no solar shading or control. The side elevations are underdeveloped and flat when compared with the front and rear elevation. Overall, the design would benefit from a more cohesive composition.	
4.	<i>The proposed materials are consistent with the context of the site, adjacent buildings, and the desert environment;</i> The home is primarily painted a dark beige stucco with darker gray accent walls. The proposed colors are neutral and appropriate with the desert environment.	N
5.	<i>The proposed color scheme is appropriate to the desert environment and consistent with the site context;</i> As noted above, the colors are neutral and harmonious with the rugged natural rocky hillside setting.	Y
6.	<i>Shading devices and sun control elements, excluding landscape materials, are provided to address environmental conditions and solar orientation;</i> As noted above, the large expanse of glass facing the pool appears to have inadequate solar control. The eaves are too short and too high to have any appreciable protective quality against the heat gain through the glazing. The large expanse of west-facing glass consists of no shade control for the pool terrace which also faces west leaves that deck and interior of the residence exposed to the elements.	N
7.	<i>The proposed landscape plan is consistent with the requirements of PSMC Chapter 8.60;</i> The site is proposed in a naturalized form, with limited disturbance to the existing terrain. Any new plants will meet the planting requirements listed in the Coachella Valley Lush and Efficient Handbook.	Y
8.	<i>The proposed landscape plan is consistent with all applicable zoning requirements, including any streetscape requirements, landscape buffer requirements, and screening requirements;</i> Where new landscape material is proposed, the landscape plan submitted includes the planting of Washingtonia Robusta Palm, Ficus Nitida, Spineless Yucca, Pygmy Date Palm, Blue Agave, Agave Americana, native grasses, Golden Barrel Cactus and assorted native rock. Ground cover will consist of desert blend gravel. The proposed landscape plan consists of desert appropriate plants that are consistent with the requirements of PSZC Chapter 8.60.	Y

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
9.	<i>The shading for pedestrian facilities on the subject site or abutting public right(s)-of-way is adequate;</i> There is inadequate shade for the primary recreational / poolside terrace area. Not applicable regarding street abutting areas.	N
10.	<i>The proposed lighting plan is consistent with the requirements of PSZC Section 93.21.00, and the proposed lighting will not materially impact adjacent properties;</i> The project proposes two types of lighting fixtures, which include five (5) concealed recessed wall lighting primarily on the west elevation, and 24 Volt, up-lighting (500 lumens), within the landscaped area around the residence. Additionally, the Conditions of Approval, PLN 1, ensure outdoor lighting conformance.	Y
11.	<i>Appropriateness of signage locations and dimensions relative to the building façade(s), or appropriateness of the site location for any freestanding signage, as may be warranted for the development type;</i> Signage is not proposed.	N/A
12.	<i>Screening is provided for mechanical equipment and service yards, so as to screen such facilities from view from public rights-of-way and abutting properties;</i> Outdoor mechanical enclosures are shown in walled areas on both front corners of the home.	Y
13.	<i>The proposed application is consistent with any adopted design standards of an applicable specific plan, planned development district, or other applicable adopted design standards and regulations.</i> The project site is not located in an area with any adopted design standards.	N/A

**ENVIRONMENTAL ANALYSIS:**

The proposed development is considered a “project” pursuant to the terms of the California Environmental Quality Act (“CEQA”) and has been determined to be categorically exempt pursuant to Section 15303(a) of the CEQA Guidelines (Class 3, New Single-Family Residence).

**CONCLUSION:**

The proposed single-family home is situated to integrate with the topography and natural features on the site; however, there are issues regarding the inconsistent design of the residence, and shading elements which should be reevaluated. Staff recommends denial, or to continue the project for further design enhancements.

PREPARED BY:	Alex Rubalcava, Assistant Planner
REVIEWED BY:	Chris Hadwin, Director of Planning

ATTACHMENTS:

1. Vicinity Map
2. Resolution and Conditions of Approval
3. Justification Letter
4. Public Integrity Disclosure Form
5. Architecture Plans

**ARCHITECTURAL REVIEW COMMITTEE MINUTES**

3200 East Tahquitz Canyon Way  
Palm Springs, California 92262  
(Meeting held via Zoom)

**Minutes of September 19, 2022**

**CALL TO ORDER:**

Chair Jakway called the meeting to order at 5:33 pm.

**ROLL CALL:**

Present: Doczi, Lockyer, McCoy, Thompson, Walsh, Vice Chair Rotman,  
Chair Jakway

Excused Absence: Poehlein

Staff Present: Planning Director Hadwin, Associate Planner Kikuchi,  
Assistant Planner Perez

**REPORT OF THE POSTING OF AGENDA:**

The Agenda was available for public access at the City Hall bulletin board (west side of Council Chamber) by 9:00 pm, Thursday, September 15, 2022, and posted on the City's website as required by established policies and procedures.

**ACCEPTANCE OF THE AGENDA:**

McCoy, seconded by Doczi to accept the agenda, as presented.

AYES: DOCZI, LOCKYER, MCCOY, THOMPSON, WALSH, ROTMAN, JAKWAY  
ABSENT: POEHLEIN

**PUBLIC COMMENTS:** None

**CONSENT CALENDAR:**

**1. APPROVAL OF MINUTES: SEPTEMBER 6, 2022**

Lockyer, seconded by Thompson to approve minutes, as presented.

AYES: DOCZI, LOCKYER, MCCOY, THOMPSON, WALSH, ROTMAN, JAKWAY  
ABSENT: POEHLEIN

**UNFINISHED BUSINESS:**

- 2. REQUEST BY DJL OF THE DESERT, INC., OWNER, FOR A MAJOR ARCHITECTURAL REVIEW APPLICATION TO CONSTRUCT A ONE-STORY 3-UNIT APARTMENT BUILDING ON AN UNDEVELOPED 10,200-SQUARE-FOOT PARCEL LOCATED AT 517 SOUTH MOUNTAIN VIEW DRIVE, ZONE R-2 (CASE 3.4270-MAJ) (AR)**

Ms. Rubalcava presented the project as outlined in the staff report.

Committee Members asked questions about the trash enclosure, front wall, exterior lighting, landscape materials and building color.

GEORGE YOUSEF, applicant, provided background details on the project.

Member Doczi said the site plan needs to be further developed, including shifting the building back towards the rear to add landscape and pedestrian access to the units and trash enclosure.

Member Lockyer suggested the enclosure could be screened with additional landscape. Mr. Lockyer said he would like to see specification on the sconce. He suggested a more attractive sconce could be used on the front of the building.

Vice Chair Rotman said additional landscape would be needed along the front and recommended additional fenestration be provided on the front building.

Member Thompson agreed that adding fenestration to the front elevation would enhance the building.

Lockyer, seconded by Doczi to continue to allow the applicant to provide further development to site plan incorporating the following:

1. Gas meter, landscape enhancements, trash enclosure screening and specification and use of more attractive sconces.

AYES: DOCZI, LOCKYER, MCCOY, THOMPSON, WALSH, ROTMAN, JAKWAY  
ABSENT: POEHLEIN

**NEW BUSINESS:**

- 3. REQUEST BY PINNACLE PALM SPRINGS, LLC FOR A MAJOR ARCHITECTURAL REVIEW APPLICATION TO CONSTRUCT A 3,953-SQUARE FOOT, ONE-STORY SINGLE-FAMILY RESIDENCE ON A 12,701 SQUARE-FOOT HILLSIDE LOT LOCATED AT 1740 PINNACLE POINT, ZONE PD 79 (CASE 3.4335-MAJ) (AR)**

Member Doczi recused himself on this project due to a business-related conflict of interest.

Planner Rubalcava presented the application as outlined in the staff report.

BRIAN FOSTER, applicant, explained the reasoning for having minimum glazing and the ability to address heat and solar gain with Title 24 measures, and a desire to retain mountain views with the larger glazing.

SCOTT LYLE, realtor representing applicant, questioned staff's recommendation.

Chair Jakway noted that there is no location for a resident to sit outside with shade and noted a television is located in an exposed area without overhang.

Mr. Foster explained there are many constraints with the lot, including its size and topography, that limit the ability to develop the property and occupants will use umbrellas to shade outdoor spaces, as desired.

Chair Jakway questioned the infinity edge pool design with its view ending over the roof. Mr. Foster responded that the infinity edge is typically a buyer preference; however, they are willing to take another look at the design.

In response to Chair Jakway's questions regarding the elevation designs and rear retaining walls, Mr. Foster described the elevation preferences and a desire to not have steps in the rear yard living space.

Member McCoy questioned the landscape plan and use of boulders, noting inconsistencies between the plans and more detail is needed. He said the exterior up-lighting is excessive and some of the trees are inconsistent with those preferred in the desert environment.

Member Lockyer thinks there could be more articulation on the rear of the façade and questioned the overall the composition of the home with the different line angles and overhangs (or lack thereof).

Chair Jakway expressed concern with the strange front elevation and its geometries and lack of inconsistencies on all four sides of the building.

Member McCoy said he's not concerned with a windowless façade, however, he concurred with Chair Jakway's comments on the proposed design.

Vice Chair Rotman said the interior 16' ceiling height has too much volume and the overall height should be dropped to 14' or less to retain a residential scale.

Member Walsh agreed with staff's analysis of the project. He said there is a lack of

consistency on the elevations and there isn't a rhythm or reason with the building composition. Mr. Walsh said the solar control is inadequate and creates functionality issues with the home.

Member Lockyer thinks with the amount of concrete and stucco there's too much hardscape in the rear yard. He said no landscape has been added to soften the amount of hardscape.

Mr. Foster described the success they've had with his designs and the buyer's preferences. He said he's open to using the front elevation and making it cohesive on the other sides of the building.

In response to Member Thompson's question on ceiling height, Mr. Foster said the buyer requested a 16' ceiling height and clarified it will more than likely be 14' after factoring in construction details.

The Committee discussed a preference for matching the four sides of the building.

Mr. Foster described the LED strips on the façade.

Member Thompson suggested using well lights instead of LED strips on the façade. Mr. Foster agreed that replacing the LED strips with well lights may be acceptable. Mr. Foster agreed that introducing landscape to the back deck would be desirable if there were more space and the front setback was reduced.

Vice Chair said if the house was moved forward there would be more space in the backyard, which would allow more softscape.

Jakway, seconded by Lockyer to continue the project for further review, subcommittee to assist with design changes, subject to the following recommendations:

1. Design with more consistency on all four sides of the building. Consider the need for shade on the rear elevation and yard.
2. Landscape:
  - Incorporate landscape within the hardscaped areas in the rear yard.
  - Some of the trees (Mexican Fan Palms) are inconsistent with those preferred in the desert environment. Remove and replace.
3. Lighting:
  - Remove LED light stripes on elevation walls and use well lights.
  - Reduce the amount of outdoor ground lighting.

AYES: LOCKYER, THOMPSON, WALSH, ROTMAN, JAKWAY  
ABSENT: POEHLEIN  
ABSTAIN: DOCZI

**4. REQUEST BY STUDIO AR & D ARCHITECTS, INC., ON BEHALF OF DESERT EYRIE HOMES, LLC, FOR MAJOR ARCHITECTURAL (MAJ) AND ADMINISTRATIVE MINOR MODIFICATION (AMM) APPLICATIONS TO CONSTRUCT A 4,754-SQUARE-FOOT SINGLE-FAMILY RESIDENCE WITH THE MAXIMUM BUILDING HEIGHT OF 12.5 FEET AND A 15.2-FOOT FRONT YARD SETBACK, INSTEAD OF THE 25-FOOT-MINIMUM, ON AN 18,122-SQUARE-FOOT UNDEVELOPED HILLSIDE PROPERTY LOCATED AT 2306 MONUMENT COURT (LOT 76), ZONE ESA-SP, SECTION 4 (CASE 3.4336 MAJ & CASE 7.1658 AMM). (NK)**

Member Lockyer stated his recusal on Items 4 and 5 due to a business-related conflict of interest.

Associate Planner Kikuchi presented the project as outlined in the staff report.

In response to Committee member questions, Ms. Kikuchi clarified that the hillside lots may reduce the front setback to ten feet with the AMM approval; the area of the proposed front yard reduction; the staff recommendation on the elevation shade enhancements; and the no-build easement and proposed boulders.

NICK LAFARO, applicant, presented the proposed layout and clarified the overhang extends to 15' from the front setback to address the southerly exposure. He described the configuration of the home and design solution to shade the exposed windows on the south elevation.

Member Doczi thinks the landscape along the south property line is too linear; suggesting it could be designed more natural. He agreed with staff's recommendation on the south elevation and appreciated the applicant's design solution.

Member Walsh agreed with member Doczi's comments and thinks the lighting accents should be where they're visible.

Chair Jakway said overall he thinks the project is nice and the setback reduction is acceptable due to it primarily involving an overhang.

Rotman, seconded by Thompson to approve, subject to staff's recommended conditions with added condition:

1. Install skirts to conceal the visibility of the equipment under the solar panels.

AYES: DOCZI, MCCOY, THOMPSON, WALSH, ROTMAN, JAKWAY  
ABSENT: POEHLEIN  
ABSTAIN: LOCKYER

5. **STUDIO AR & D ARCHITECTS, INC., ON BEHALF OF DESERT EYRIE HOMES, LLC, FOR A MAJOR ARCHITECTURAL APPLICATION TO CONSTRUCT A 4,839-SQUARE-FOOT SINGLE-FAMILY RESIDENCE WITH THE MAXIMUM BUILDING HEIGHT OF 12.3 FEET ON AN 18,259-SQUARE-FOOT UNDEVELOPED HILLSIDE PROPERTY LOCATED AT 2339 CITY VIEW DRIVE (LOT 59), ZONE ESA-SP, SECTION 4 (CASE 3.4337 MAJ). (NK)**

Member Lockyer previously stated his stated his recusal due to a business-related conflict.

Planner Kikuchi presented the project as outlined in the staff report.

NICK LAFARO, applicant, provided background on the project.

Mr. Rotman said a variation in color is something to consider, given the home is adjacent to another the home (also on the agenda) with the same colors.

Chair Jakway asked if the gas meter could be relocated behind the mechanical enclosure; if an enclosure or screen would be proposed in front of the master bath window; if there would be a gate, and if the pool enclosure fence would degrade the pool enclosure infinity edge pool design. Mr. Lafaro responded the meter could be relocated, there is no gate and discussed alternatives to the pool enclosure design.

Thompson, seconded by Walsh to approve, subject to staff's recommended conditions with added condition:

1. Install skirts to conceal the visibility of the equipment under the solar panels.

AYES: DOCZI, MCCOY, THOMPSON, WALSH, ROTMAN, JAKWAY  
ABSENT: POEHLEIN  
ABSTAIN: LOCKYER

**COMMITTEE MEMBER COMMENTS:** None

**STAFF MEMBER COMMENTS:** None

**ADJOURNMENT:**

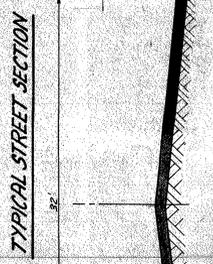
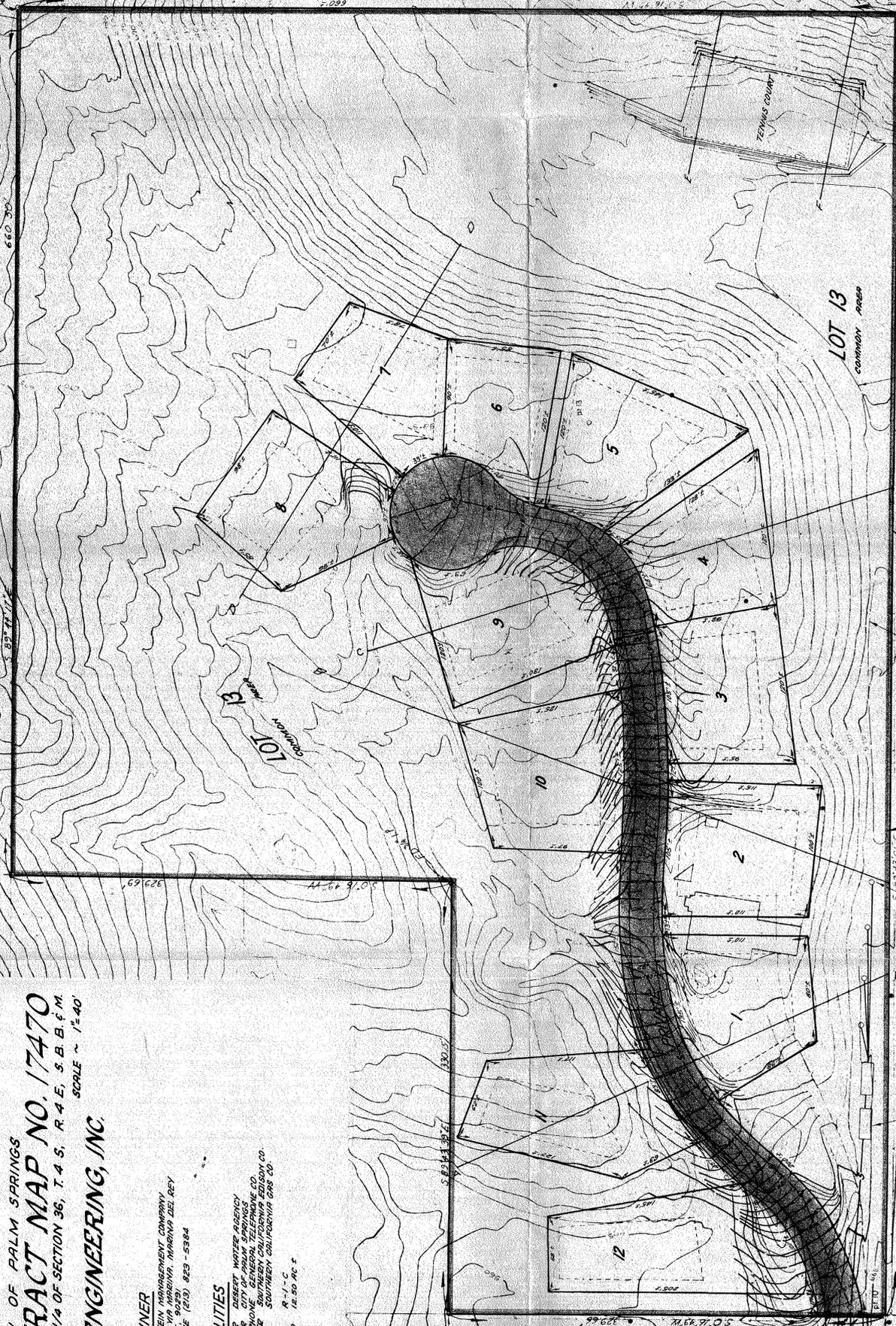
The Architectural Review Committee of the City of Palm Springs adjourned at 8:01 pm to the next regular meeting at 5:30 pm on Monday, October 3, 2022, 3200 East Tahquitz Canyon Way, Palm Springs.

  
\_\_\_\_\_  
Christopher Hadwin  
Director of Planning Services

IN THE CITY OF PALM SPRINGS  
**TENTATIVE TRACT MAP NO. 17470**  
 BEING A PORTION OF THE SW 1/4 OF SECTION 36, T. 4 S., R. 4 E., S. B. & M.  
 JANUARY, 1981  
**WEBB ENGINEERING, INC.**  
 SCALE ~ 1" = 40'

**OWNER**  
 EPSTEIN MANAGEMENT COMPANY  
 4201 VIA MARINA, MARINA DEL REY  
 CALIF. 90292  
 PHONE (213) 823-5384

**UTILITIES**  
 WATER: DESERT WATER AGENCY  
 SEWER: CITY OF PALM SPRINGS  
 TELEPHONE: CALIFORNIA TELEPHONE CO.  
 GAS: SOUTHWEST CALIFORNIA GAS CO.  
 ZONE: R-1-C  
 AREA: 12.50 AC. ±



TEMP. SEPTIC TANKS AND LEACH PITS

FUTURE LEACH PIT AREA NO. 1

5' LINE SECTION 35

FUTURE LEACH PIT AREA NO. 2

CITY CHECK COPY NO.

VICINITY MAP RECEIVED

JAN 8 1981  
 ENGINEERING  
 1619 N. 20th Ave. Suite 116, SPOKANE, IDAHO 83401

**TENTATIVE TRACT MAP NO. 17470**  
 PORTION SW 1/4 SECTION 36, T. 4 S., R. 4 E., S. B. & M.  
 JANUARY 1981  
 SHEET NO. 1 OF 1  
 WEBB ENGINEERING, INC.  
 1619 N. 20th Ave. Suite 116, SPOKANE, IDAHO 83401

**NOTE**  
 12 RESIDENTIAL LOTS  
 7 COMMON LOT

DENOTES AREA WITHIN WHICH BUILDING CAN BE LOCATED

DENOTES PROPOSED 8" SEWER MAIN

CONTOUR INTERVAL 1'  
 DATE OF PHOTOGRAPHY 5-19-79

**SYMBOLS**

	2 x 4 WOOD STUDS @ 16" ON CENTER		PROPERTY LINE
	2 x 6 WOOD STUDS @ 16" ON CENTER		REVISION
	EXISTING WALLS TO BE REMOVED		CLOUD REVISION
	EXISTING WALLS TO REMAIN		ELEVATION NUMBER
	1 HOUR FIRE RATED WALL		SHEET NUMBER
	CONCRETE		SECTION LETTER
	MASONRY VENEER/ CONCRETE BLOCK		SHEET NUMBER
	ACOUSTIC TILE OR BOARD		DETAIL NUMBER
	BATT INSULATION		SHEET NUMBER
	PLYWOOD		KEYNOTE NUMBER

**ABBREVIATIONS**

**BUILDING AND CONSTRUCTION**

AFF - ABOVE FINISHED FLOOR	PL - PROPERTY LINE
AFG - ABOVE FINISHED GRADE	REQD - REQUIRED
FFL - FINISHED FLOOR LEVEL	REINF - REINFORCED
FL - FLOOR LEVEL	TOB - TOP OF BEAM
GC - GENERAL CONTRACTOR	TOC - TOP OF CURB OR TOP OF CONCRETE
IAW - IN ACCORDANCE WITH	TOF - TOP OF FOOTING
JST - JOIST	TOJ - TOP OF JOIST
MFG - MANUFACTURING	TOW - TOP OF WALL
NIC - NOT IN CONTRACT	

**FLOOR PLAN**

A/C - AIR CONDITIONER	J-BOX - JUNCTION BOX
BSMT - BASEMENT	LTG - LIGHTING
CL - CLOSET	RD - ROOF DRAIN
CLG - CEILING	SD - SMOKE DETECTOR
EF - EXHAUST FAN	SPK - SPRINKLER
EXT - EXTERIOR	T&G - TONGUE AND GROOVE
FD - FLOOR DRAIN	TEL - TELEPHONE
HVAC - HEATING, VENTILATION AND AIR CONDITIONING	WIC - WALK-IN CLOSET
HW - HOT WATER	W.H. - WATER HEATER

**MEASUREMENTS & TECHNICAL**

BOT - BOTTOM	EQ - EQUAL	SQ. FT. - SQUARE FEET
CC - CENTER TO CENTER	IN - INCH	SQ. IN. - SQUARE INCHES
CL - CENTERLINE	JCT - JUNCTION	STD - STANDARD
CONT - CONTINUOUS	MAX - MAXIMUM	W/O - WITHOUT
CU. FT. - CUBIC FEET	MIN - MINIMUM	
CU. YD. - CUBIC YARD	NTS - NOT TO SCALE	
DIA - DIAMETER	OC - ON CENTER	
DIM - DIMENSION	QTY - QUANTITY	
EA - EACH	SPECS - SPECIFICATIONS	

**MATERIALS**

AWG - AMERICAN WIRE GAUGE	INSUL - INSULATION	SS - STAINLESS STEEL
ALUM - ALUMINUM	LVL - LAMINATED VENEER LUMBER	STL - STEEL
CI - CAST IRON	MTL - MATERIAL	WD - WOOD
CMU - CONCRETE MASONRY UNIT	PL - PLASTER	WI - WROUGHT IRON
CPT - CARPET	PLYWD - PLYWOOD	WS - WEATHERSTRIPPING
FIN - FINISH	P.T. - PRESSURE TREATED	
GALV - GALVANIZED	PTD - PAINTED	
GYP - GYPSUM	SHT - SHEET	
HB - HOSE BIB	SHTG - SHEATHING	

**AREA CALCULATIONS**

THE SQUARE FOOTAGE IS MEASURED AND CALCULATED TO THE OUTSIDE FACE OF THE EXTERIOR WALLS. THE CALCULATIONS WERE MADE BASED ON THE PLANS ONLY AND MAY VARY FROM FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT

MAIN HOUSE LIVING AREA	3,541 S.F.
MAIN HOUSE GARAGE	549 S.F.
<b>TOTAL BUILDING</b>	<b>4,090 S.F.</b>

LOT AREA	12,701 S.F. / 0.29157 ACRES
MAXIMUM LOT COVERAGE PERMITTED:	4,445.35 S.F. OR 35%
PROPOSED LOT COVERAGE:	4,090 S.F. OR 32%

COVERED PATIOS	607 S.F.
OVERHANGS	493 S.F.
<b>TOTAL</b>	<b>1,100 S.F.</b>

**SCOPE OF WORK**

SINGLE FAMILY RESIDENCE. 3 BEDROOMS, 3 BATH, 1 POWDER. ATTACHED 2 CAR GARAGE

**PROJECT DATA**

OWNER:	PINNACLE PALM SPRINGS LLC.
PROJECT ADDRESS:	1740 PINNACLE POINT PALM SPRINGS, CA 92264
APN:	510-340-011
ZONING:	PD
STORIES:	ONE STORY (18'-0" MAX HEIGHT)
TYPE OF CONSTRUCTION:	VB
OCCUPANCY:	R-3 / U
FIRE PROTECTION:	SPRINKLERED

**VICINITY MAP**



**GENERAL NOTES**

- DRAWINGS AND SPECIFICATIONS ARE PROPERTY OF THE DESIGNER AND ARE COPYRIGHTED UNLESS AUTHORIZATION IS GIVEN TO THE OWNER IN WRITING.
- CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE PLANS AND SPECIFICATIONS AS WELL AS CURRENT SITE CONDITIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
- ANY CHANGES REQUIRED TO BE MADE TO THESE PLANS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
- ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE, UNLESS OTHERWISE NOTED OR SHOWN. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK TO COMPLETION OF THE PROJECT, AS INDICATED IN THE CONTRACT DOCUMENTS, AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS AND PROCEDURES.
- DO NOT CUT OR TRIM ANY TREES ON THE PROPERTY UNLESS OTHERWISE NOTED OR DIRECTED BY DESIGNER AND OWNER. AVOID FILLING OR CUTTING AROUND EXISTING TREES TO REMAIN. PROTECT THESE TREES WITH BARRIERS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE "OWNER" OF ANY CONDITION REQUIRING MODIFICATION OR CHANGE, BEFORE PROCEEDING WITH WORK.
- ALL CONSTRUCTION TO PROVIDE A WATERPROOF, WEATHER TIGHT STRUCTURE. CONTRACTOR SHALL SEAL AND CAULK AS NECESSARY TO ACHIEVE THIS REQUIREMENT.
- CONTRACTOR SHALL VERIFY IN THE FIELD ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS PRIOR TO COMMENCEMENT OF WORK.
- AFTER COMMENCEMENT OF WORK, ANY FAULTS IN CONSTRUCTION DUE IN PART TO ERRORS IN THE CONSTRUCTION DOCUMENTS, SHALL BE CORRECTED BY CONTRACTOR OR SUBCONTRACTOR.
- SEE GRADING PLAN FOR EXACT LOCATION OF THE NEW RESIDENCE. SEE GRADING PLAN FOR PAD ELEVATION.
- IF NO SURVEY HAS BEEN COMPLETED, OWNER SHALL VERIFY THE SETBACKS AND BE SOLELY RESPONSIBLE THE EXACT LOCATION OF THE PROPOSED BUILDING.
- ALL CONTRACTORS SHALL HAVE A CURRENT VALID CITY BUSINESS LICENSE PRIOR TO PERMIT ISSUANCE.
- CONTRACTOR AND/OR OWNER SHALL PROVIDE A TRASH BIN TO INSURE PROPER CLEAN-UP OF ALL BUILDING MATERIALS.
- APPROVED TEMPORARY SANITARY FACILITIES (I.E. CHEMICAL TOILETS) SHALL BE ON THE CONSTRUCTION SITE PRIOR TO REQUEST FOR FIRST INSPECTION, HEALTH & SAFETY CODE.
- STORAGE OF BUILDING MATERIALS OR DEBRIS SHALL BE CONFINED TO THE LOT FOR WHICH THE PERMIT IS ISSUED. ADJACENT VACANT PROPERTIES MAY NOT BE UTILIZED FOR THIS PURPOSE UNLESS WRITTEN PERMISSION OF THE OWNER IS ON FILE WITH THIS OFFICE. THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED IN A CLEAR CONDITION AT ALL TIMES.
- GENERAL CONTRACTORS AND/OR OWNER-BUILDERS SHALL COMPLETE AND SUBMIT A CONTRACTOR'S SUB LIST TO THE BUSINESS SUPPORT CENTER PRIOR TO REQUEST FOR FINAL INSPECTION. ABSOLUTELY NO SUB LISTS WILL BE ACCEPTED UNLESS ALL REQUIRED INFORMATION IS PROVIDED ON THE APPROPRIATE FORM.
- ADDRESS NUMERALS SHALL COMPLY WITH CITY ORDINANCE. ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH.
- ALL 'OR EQUAL' SUBSTITUTIONS MUST BE SUBMITTED TO, AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO INSTALLATION OF THE ITEM.
- THE CITY BUILDING INSPECTOR HAS THE AUTHORITY TO REQUEST FULLY REVISED PLAN SHEETS WITH ALL FIELD CHANGES CLOUDED WITH DELTAS TO BE SUBMITTED FOR CITY PLAN REVIEW WHEN HE/SHE DETERMINES THE NUMBER OF FIELD REVISIONS WARRANT SUCH A REQUEST.
- THE FOLLOWING ITEMS SHALL BE SUBMITTED, REVIEWED & APPROVED UNDER A DEFERRED SUBMITTAL:
  - PHOTOVOLTAIC SYSTEM
  - FIRE SPRINKLER SYSTEM
  - POOL AND SPA (WITH SAFETY FEATURES)
  - BLOCK WALLS
- IF A MASONRY OR FACTORY-BUILT FIREPLACE IS INSTALLED, IT SHALL COMPLY WITH SECTION 110.5, SECTION 4.503 OF PART 11, AND SHALL HAVE THE FOLLOWING:
  - A COMBUSTION AIR INTAKE TO DRAW AIR FROM THE OUTSIDE OF THE BUILDING, WHICH IS AT LEAST 6 SQUARE INCHES IN AREA AND IS EQUIPPED WITH A READILY ACCESSIBLE, OPERABLE, AND TIGHT-FITTING DAMPER OR COMBUSTION-AIR CONTROL DEVICE; AND
  - A FLUE DAMPER WITH A READILY ACCESSIBLE CONTROL.
- EXCEPTION TO SECTION 150.0(e)(1)B: AN OUTSIDE COMBUSTION-AIR INTAKE IS NOT REQUIRED IF THE FIREPLACE WILL BE INSTALLED OVER CONCRETE SLAB FLOORING AND FIREPLACE WILL NOT BE LOCATED ON AN EXTERIOR WALL.
- EXCEPTION TO SECTION 150.0(e)(1)C: WHEN A GAS LOG, LOG LIGHTER, OR DECORATIVE GAS APPLIANCE IS INSTALLED IN A FIREPLACE, THE FLUE DAMPER SHALL BE BLOCKED OPEN IF REQUIRED BY THE CMC OR THE MANUFACTURER'S INSTALLATION INSTRUCTION.



THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLISHED HEREBY IS EXPRESSLY LIMITED TO SUCH USE. REVISIONS, FIELD NOTES, OR CHANGES BY ANY METHOD IN ANY CASE OR IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF MASTER PLAN DRAFTING & DESIGN INC. IS PROHIBITED. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL INFORMATION SHOWN ON THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

ALL ORIGINAL PAPERS, DOCUMENTS, DRAWINGS AND OTHER WORK PRODUCT OF MASTER PLAN DRAFTING & DESIGN INC. AND THEREOF, PRODUCED BY MASTER PLAN DRAFTING & DESIGN INC. SHALL REMAIN THE PROPERTY OF MASTER PLAN DRAFTING & DESIGN INC. AND MAY BE USED BY MASTER PLAN DRAFTING & DESIGN INC. WITHOUT THE CONSENT OF THE CLIENT.

CITY APPROVAL

PROJECT NAME

**PINNACLE LOT 9**

1740 PINNACLE POINT  
PALM SPRINGS, CA 92264  
APN: 510-340-011

**BUILDING CODES**

UNLESS INDICATED OTHERWISE, ALL PORTIONS OF THIS PROJECT SHALL BE SUBJECT TO THE REQUIREMENTS OF THE FOLLOWING:

- 2022 CALIFORNIA BUILDING CODE (AS APPLICABLE)
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARD CODE
- ALL OTHER APPLICABLE CODES, REGULATIONS, AND ORDINANCES

**SHEET INDEX**

A-001	TITLE SHEET
G1	GRADING PLAN
A-101	SITE PLAN
A-102	SITE SECTIONS
A-103	DIMENSION PLAN
A-104	NOTED FLOOR PLAN
A-105	ROOF PLAN
A-201	EXTERIOR ELEVATIONS
A-202	COLORED EXTERIOR ELEVATION
A-203	RENDERINGS
E-101	PRELIMINARY EXTERIOR LIGHTING PLAN
L1	PRELIMINARY LANDSCAPE

REVISIONS


CONSTRUCTION CLARIFICATIONS


CURRENT DRAWING STATUS

- PRELIMINARY
- BID SET ONLY
- PLAN REVIEW SUBMITTAL
- FOR CONSTRUCTION

**COVER SHEET**

A24-XX

NOT TO SCALE

**A-001**

**HERS INSPECTION PROGRAM**

A SUMMARY OF THE FEATURES THAT MUST BE FIELD-VERIFIED BY A CERTIFIED HERS RATER AS A CONDITION FOR MEETING THE MODELED ENERGY PERFORMANCE FOR TITLE 24 ANALYSIS. SEE T-24 REPORT ON SHEETS 3.

- Building-level Verifications:
  -
- Cooling System Verifications:
  - 
  - 
  - 
  -
- Heating System Verifications:
  -
- HVAC Distribution System Verifications:
  -
- Domestic Hot Water System Verifications:
  -

**PROJECT TEAM**

<b>OWNER:</b> PINNACLE PALM SPRINGS, LLC P.O. BOX 573 RANCHO MIRAGE, CA 92270	<b>STRUCTURAL ENGINEER:</b> AD ENGINEERING GROUP 135 E. FLORIDA AVE. STE A HEMET, CA 92343 951-766-5180
<b>GEOTECHNICAL ENGINEER:</b> SLADDEN ENGINEERING INC. 77-725 ENFIELD LANE STE 100 PALM DESERT, CA 92211 760-772-3893	<b>MECHANICAL:</b> SCOTT DESIGN & TITLE 24 INC. 74-818 VELIE WAY STE 8 PALM DESERT, CA 92260 760-200-4780
<b>CIVIL ENGINEER:</b> SANBORN ARCHITECTURE GROUP INC 71-780 SAN JACINTO DR. BLDG E-1 RANCHO MIRAGE, CA 92270 760-423-0600	<b>TITLE 24:</b> SCOTT DESIGN & TITLE 24 INC. 74-818 VELIE WAY STE 8 PALM DESERT, CA 92260 760-200-4780
<b>DESIGNER:</b> MASTER PLAN DRAFTING & DESIGN P.O. BOX 11266 PALM DESERT, CA 92255 www.masterplandd.com	<b>PLUMBING:</b> ELBERT GUTIERREZ DESIGN P.O. BOX 11266 PALM DESERT, CA 92255 760-851-7314





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ALL ORIGINAL DRAWINGS, DOCUMENTS, DRAWINGS AND OTHER WORK PRODUCT OF MASTER PLAN DRAFTING & DESIGN, INC. AND THE USER, PRODUCED BY MASTER PLAN DRAFTING & DESIGN, SHALL REMAIN THE PROPERTY OF MASTER PLAN DRAFTING & DESIGN, INC. AND SHALL BE USED BY MASTER PLAN DRAFTING & DESIGN, INC. WITHOUT THE CONSENT OF THE USER.

CITY APPROVAL

PROJECT NAME

**Pinnacle**  
**LOT 9**

1740 PINNACLE POINT  
PALM SPRINGS, CA 92264  
APN: 510-340-011

REVISIONS


CONSTRUCTION CLARIFICATIONS


CURRENT DRAWING STATUS

- PRELIMINARY
- BID SET ONLY
- PLAN REVIEW SUBMITTAL
- FOR CONSTRUCTION

**SITE PLAN**

A24-XX

SCALE: 1/8" = 1'-0"

**A-101**

PLOT DATE: 4/26/2024

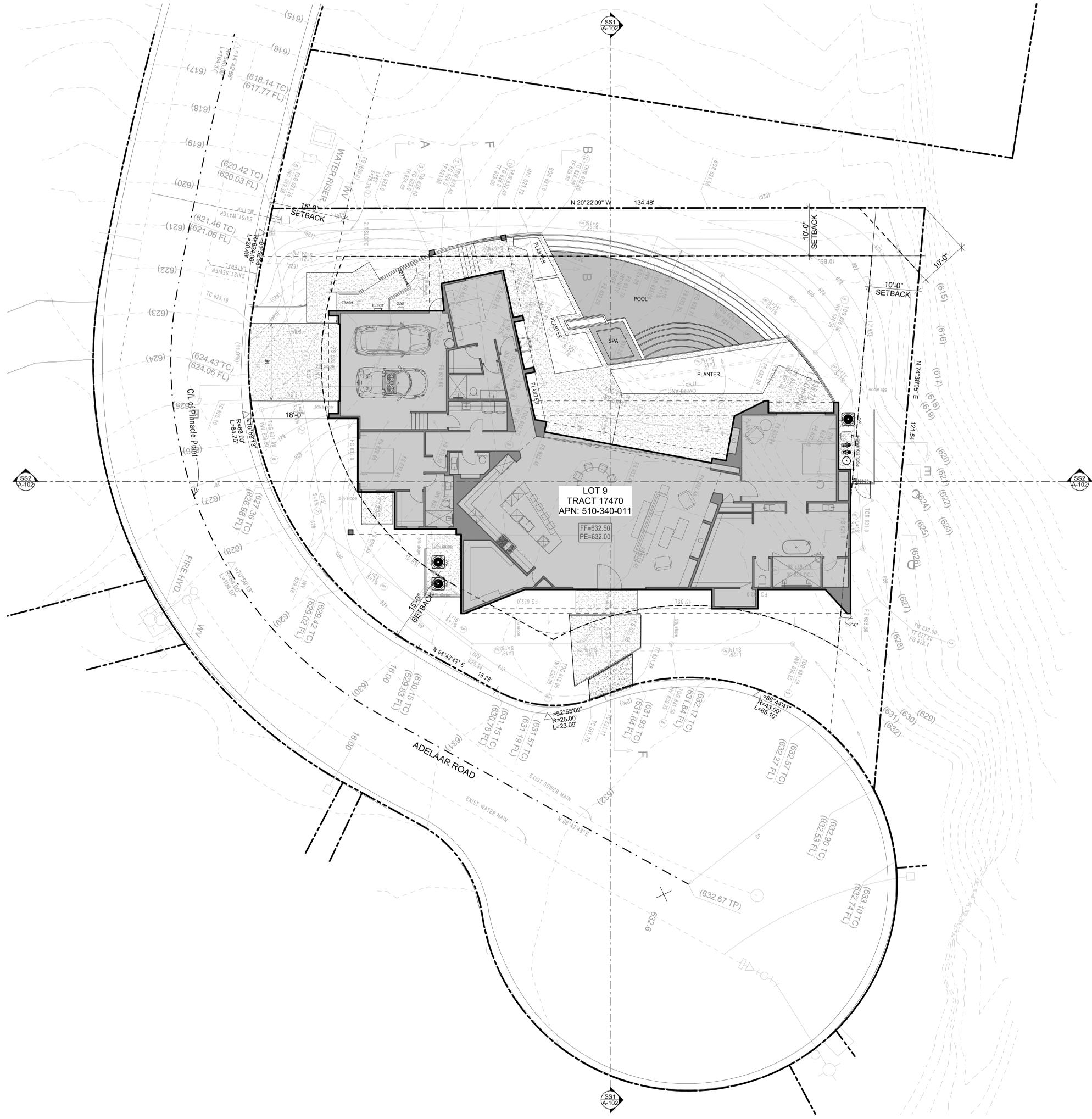
**SITE PLAN GENERAL NOTES:**

- A. ALL PROPERTY LINES, EASMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THIS SITE PLAN. CONTRACTOR SHALL PROVIDE AN ACCURATE SURVEY PRIOR TO CONSTRUCTION, TO VERIFY FOR THE ACCURACY OF THIS DRAWINGS.
- B. THE DEVELOPER/CONTRACTOR/OWNER IS RESPONSIBLE FOR THE VERIFICATION OF EXISTING CURB LOCATION, EDGE OF STREET PAVING IF NO CURB EXISTS) FROM PROPERTY LINE(S) WITH THE PUBLIC WORKS DEPARTMENT.
- C. SEE GRADING PLAN FOR INFORMATION REGARDING VERIFICATION OF FINISH FLOOR LEVEL.
- D. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET. 2022 CRC R401.3
- E. GENERAL CONTRACTOR SHALL PROVIDE PROPER SOILS PREPARATION PER THE SOILS REPORT. IF NO SOILS REPORT EXISTS, GENERAL CONTRACTOR SHALL PROVIDE ONE BY A LICENSED SOILS ENGINEER.
- F. ALL EXTERIOR DOORS SHALL HAVE A LANDING. WIDTH OF LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. LANDINGS SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 2%. 2022 CRC R311.3
- G. LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING ON THE EXTERIOR SIDE SHALL BE NOT MORE THAN 3/4 INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. 2022 CRC R311.3.1
- H. DRIVEWAY APPROACH REQUIRES A SEPARATE PERMIT & INSPECTION FROM CITY PUBLIC WORKS DEPARTMENT.
- I. PROVIDE CONCRETE PADS FOR ALL MECHANICAL, POOL, SPA, AND WATER FEATURE EQUIPMENT.
- J. ALL DOORS LEADING FROM THE HOUSE AND GARAGE INTO AREAS WITH POOL ACCESS SHALL BE PROTECTED BY POOL SAFETY ALARMS.
- K. THE FUTURE POOL, FUTURE SPA AND FUTURE WATER FEATURE ARE NOT IN THE SCOPE OF WORK AND REQUIRE SEPARATE PERMITS.
- L. SITE POOL PROTECTION BARRIERS ARE UNDER SEPARATE PERMIT.
- M. RETAINING & GARDEN WALLS REQUIRE SEPARATE APPROVAL AND PERMIT FROM THE CITY BUILDING AND SAFETY DEPARTMENT.
- N. REFER TO LANDSCAPE PLAN FOR SITE WALL FINISHES. ALL FINISHES TO BE APPROVED BY OWNER.
- O. CONCRETE COLOR, STEPPING STONES, COURTYARD WATER FEATURE/ POOL SPA FINISHES, FIRE ELEMENT AND SITE DETAILS BY LANDSCAPE ARCHITECT.

**POOL PROTECTION**

SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH AT LEAST TWO OF THE FOLLOWING SEVEN DROWNING PREVENTION SAFETY FEATURES (2022 CBC 3109-115922-a):

- OWNER TO SELECT 2 OF THE FOLLOWING:
1. AN ENCLOSURE THAT MEETS THE REQUIREMENTS OF SECTION 115923 AND ISOLATES THE SWIMMING POOL OR SPA FROM THE PRIVATE SINGLE-FAMILY HOME.
  2. REMOVABLE MESH FENCING THAT MEETS AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) SPECIFICATIONS F2286 STANDARDS IN CONJUNCTION WITH A GATE THAT IS SELF-CLOSING AND SELF-LATCHING AND CAN ACCOMMODATE A KEY LOCKABLE DEVICE.
  3. AN APPROVED SAFETY POOL COVER, AS DEFINED IN SUBDIVISION (D) OF SECTION 115921.
  4. EXIT ALARMS ON THE PRIVATE SINGLE-FAMILY HOME'S DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL OR SPA. THE EXIT ALARM MAY CAUSE EITHER AN ALARM NOISE OR A VERBAL WARNING, SUCH AS A REPEATING NOTIFICATION THAT "THE DOOR TO THE POOL IS OPEN."
  5. A SELF-CLOSING, SELF-LATCHING DEVICE WITH A RELEASE MECHANISM PLACED NO LOWER THAN 54 INCHES ABOVE THE FLOOR ON THE PRIVATE SINGLE-FAMILY HOME'S DOORS PROVIDING DIRECT ACCESS TO THE SWIMMING POOL OR SPA.
  6. AN ALARM THAT, WHEN PLACED IN A SWIMMING POOL OR SPA, WILL SOUND UPON DETECTION OF ACCIDENTAL OR UNAUTHORIZED ENTRANCE INTO THE WATER. THE ALARM SHALL MEET AND BE INDEPENDENTLY CERTIFIED TO THE ASTM STANDARD F2208 "STANDARD SAFETY SPECIFICATION FOR RESIDENTIAL POOL ALARMS," WHICH INCLUDES SURFACE MOTION, PRESSURE, SONAR, LASER, AND INFRARED TYPE ALARMS. A SWIMMING PROTECTION ALARM FEATURE DESIGNED FOR INDIVIDUAL USE, INCLUDING AN ALARM ATTACHED TO A CHILD THAT SOUNDS WHEN THE CHILD EXCEEDS A CERTAIN DISTANCE OR BECOMES SUBMERGED IN WATER, IS NOT A QUALIFYING DROWNING PREVENTION SAFETY FEATURE.
  7. OTHER MEANS OF PROTECTION, IF THE DEGREE OF PROTECTION AFFORDED IS EQUAL TO OR GREATER THAN THAT AFFORDED BY ANY OF THE FEATURES SET FORTH ABOVE AND HAS BEEN INDEPENDENTLY VERIFIED BY AN APPROVED TESTING LABORATORY AS MEETING STANDARDS FOR THOSE FEATURES ESTABLISHED BY THE ASTM OR THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME).





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CITY APPROVAL

PROJECT NAME

**PINNACLE LOT 9**

1740 PINNACLE POINT  
PALM SPRINGS, CA 92264  
APN: 510-340-011

REVISIONS


CONSTRUCTION CLARIFICATIONS


CURRENT DRAWING STATUS

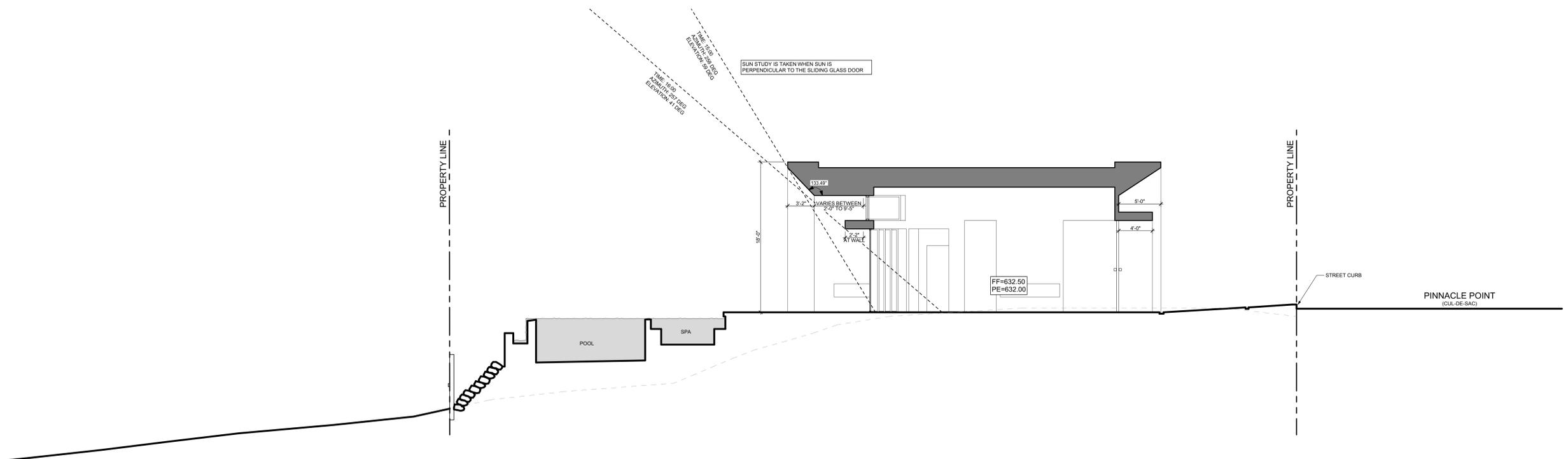
- PRELIMINARY
- BID SET ONLY
- PLAN REVIEW SUBMITTAL
- FOR CONSTRUCTION

**SITE SECTIONS**

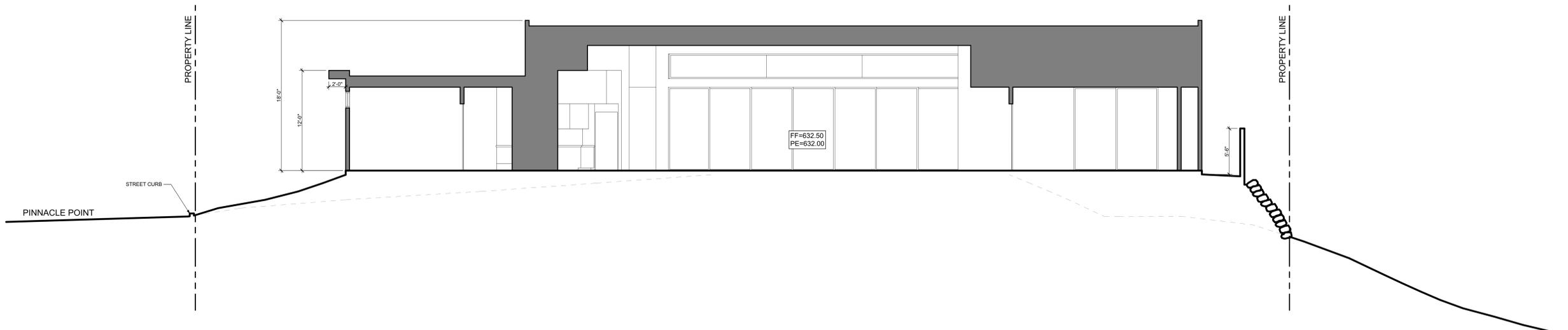
A24-XX

SCALE: 1/8" = 1'-0"

**A-102**



**SS1** SITE SECTION 1  
SCALE: 3/16" = 1'-0"



**SS2** SITE SECTION 2  
SCALE: 3/16" = 1'-0"



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**DIMENSION PLAN GENERAL NOTES**

- A. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE CLEAR FROM EDGE OF STUD, CENTER OF RADIUS, CENTER OF OPENINGS.
- B. GENERAL CONTRACTOR SHALL BRING ANY DISCREPANCIES WITH THESE DIMENSIONS TO THE ATTENTION OF THE DESIGNER IMMEDIATELY.
- C. EXISTING FIELD CONDITIONS SHALL BE DIMENSIONALLY VERIFIED PRIOR TO CONSTRUCTION.
- D. PROVIDE DEPRESSION FOR STONE FLOORING AND BATHROOM SHOWERS AT CONCRETE SLABS. SEE NOTED FLOOR & FOUNDATION PLANS FOR LOCATIONS.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION, IN WHOLE OR IN PART, OR USE IN ANY MANNER, IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN CONSENT OF MASTER PLAN DRAFTING & DESIGN, INC. IS PROHIBITED. IT IS THE SOLE RESPONSIBILITY OF THE USER TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE USER SHALL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE ACCEPTANCE OF THE ACCURACY OF THESE SPECIFICATIONS.

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CITY APPROVAL

PROJECT NAME

**PINNACLE  
LOT 9**

1740 PINNACLE POINT  
PALM SPRINGS, CA 92264  
APN: 510-340-011

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		

CONSTRUCTION CLARIFICATIONS

1	
2	
3	
4	

CURRENT DRAWING STATUS

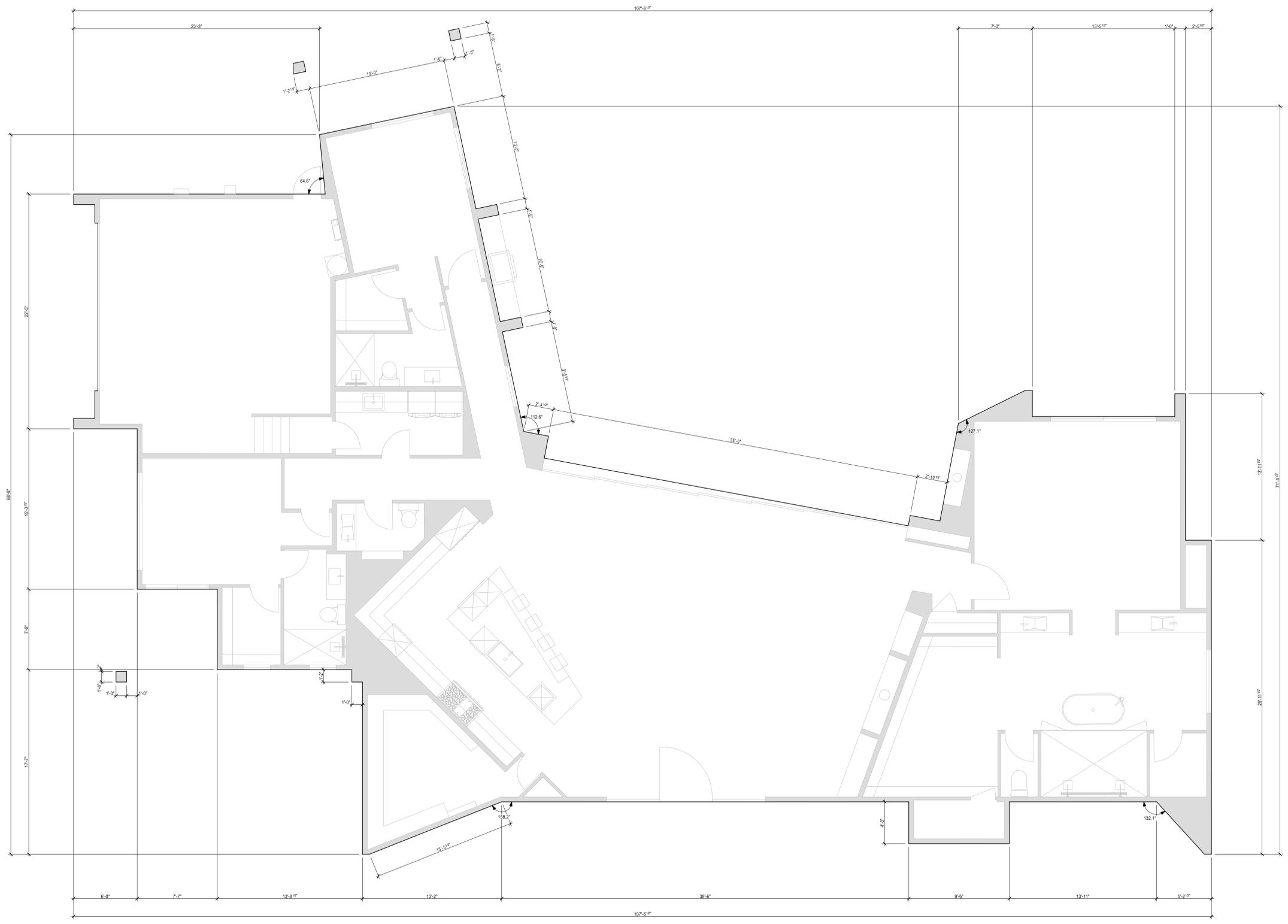
- PRELIMINARY
- BID SET ONLY
- PLAN REVIEW SUBMITTAL
- FOR CONSTRUCTION

**DIMENSION PLAN**

A24-XX

SCALE: 1/4" = 1'-0"

**A-103**





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CITY APPROVAL

**FLOOR PLAN GENERAL NOTES:**

- A. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE. **2022 CRC R302.5.2**
- B. TYPICAL EXTERIOR AND INTERIOR WALL CONSTRUCTION TO BE 2X6 STUDS AT 16" O.C. UNLESS DIMENSIONED OR NOTED OTHERWISE. WALL FRAMING TO BE CONSTRUCTED PER STRUCTURAL DRAWINGS AND SPECIFICATIONS.
- C. FIREBLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICLE AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAMED CONSTRUCTION IN THE LOCATIONS SPECIFIED IN **2022 CRC R302.11**.
- D. MASONRY FIREPLACE HEARTH AND HEARTH EXTENSIONS SHALL BE CONSTRUCTED IN ACCORDANCE TO **2022 CRC R1001.9 THRU R1001.10**. FACTORY-BUILT FIREPLACE HEARTH EXTENSIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE LISTING OF THE FIREPLACE. HEARTH EXTENSION SHALL BE READILY DISTINGUISHABLE FROM THE SURROUNDING FLOOR AREA. HEARTH SHALL COMPLY WITH UL 1618, **2022 CRC R1004.2**
- E. FIREPLACE CLEARANCES FOR COMBUSTIBLE MATERIALS SHALL COMPLY WITH **2022 CRC R1001.11**.
- F. ALL HOSE BIBBS SHALL BE FITTED WITH A NON-REMOVABLE BACK FLOW DEVICE. **2022 CPC 603.0 AND 603.1**.
- G. INSULATION MATERIALS INSTALLED WITHIN CEILING AND WALL ASSEMBLIES SHALL EXHIBIT A FLAME SPREAD INDEX NOT TO EXCEED 25 AND A SMOKE-DEVELOPED INDEX NOT TO EXCEED 450. **2022 CRC R302.10.1**.
- H. WATER HEATER LINES IN UNCONDITIONED SPACE AND UNDER SLAB ARE TO BE INSULATED.
- I. DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7 3/4 INCHES BELOW THE TOP OF THE THRESHOLD. **2022 CRC R311.3.2**
- J. WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AND SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450. **2022 CRC R302.9.1 & R302.9.2**.
- K. DRAFTSTOPPING SHALL BE INSTALLED IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR-CEILING ASSEMBLY. DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 S.F. AND THE SPACE SHALL BE DIVIDED INTO APPROXIMATELY EQUAL AREAS. **2022 CRC R302.12**
- L. FACTORY-BUILT CHIMNEY WHICH REQUIRE A MINIMUM CLEARANCE TO INSULATION MUST BE PROVIDED WITH AN INSULATION SHIELD OF MINIMUM THICKNESS 26 GAUGE STEEL INSTALLED TO 2" ABOVE THE INSULATION. **2022 CRC R1005.8**

**FLOOR PLAN KEY NOTES:**

- 1 EXTERIOR PLASTER. INSTALLATION SHALL BE IN COMPLIANCE WITH ASTM C926, ASTM C1063 AND **2022 CRC R703.7**.
- 2 ANCHORED STONE AND STONE VENEER SHALL BE INSTALLED IN ACCORDANCE WITH **2022 CRC R703.8, TABLE R703.3(1) AND FIGURES R703.8(1) AND R703.8(2)**.
- 3 DWELLING/GARAGE FIRE SEPARATION. CONTRACTOR TO INSTALL PER **2022 CRC R302.6**.
- 4 5/8" TYPE 'X' GYPSUM BOARD AT WALLS & CEILINGS. CONTRACTOR TO INSTALL PER **2022 CRC R702.3**.
- 5 POST W/ BRAKE METAL CLADDING. FINISH TO MATCH WINDOWS FRAMES.
- 6 STONE/TILE FLOORING.
- 7 CARPET FLOORING.
- 8 EPOXY GARAGE FLOOR COATING.
- 9 CUSTOM MASONRY FIREPLACE W/ GAS BURNER. PROVIDE COMBUSTION AIR THROUGH A 4" DIAMETER FRESH AIR KIT/NO DAMPER DIRECT CONNECT TO FFVA COLLAR IN ATTIC. FIREPLACE SHALL BE INSTALLED WITH A CLOSABLE METAL OR GLASS DOOR COVERING THE ENTIRE OPENING. **2022 CRC CHAPTER 10**.
- 10 ISOKERN WITH DIRECT VENT FIREPLACE SYSTEM. INSTALL PER MANUFACTURERS INSTRUCTIONS. FIREPLACE SHALL BE INSTALLED WITH A CLOSABLE METAL OR GLASS DOOR COVERING THE ENTIRE OPENING.
- 11 MEZZO60 DIRECT VENT GAS FIREPLACE. VENT TO ROOF. INSTALL PER MANUFACTURE SPECIFICATIONS. FIREPLACE SHALL BE INSTALLED WITH A CLOSABLE METAL OR GLASS DOOR COVERING THE ENTIRE OPENING.
- 12 STONE FIREPLACE HEARTH.
- 13 MECHANICAL CHASE. OPENINGS AROUND PENETRATIONS ARE TO BE FIRE STOPPED.
- 14 FORCED AIR UNIT.
- 15 FORCED AIR UNIT IN ATTIC.
- 16 WATER HEATER.
- 17 FORCED AIR PLATFORM AT +18" A.F.F. MAINTAIN 2" CLEARANCE FROM INTERIOR WALLS TO MINIMIZE SOUND ATTENUATION.
- 18 ELECTRICAL PANEL. A MINIMUM OF 3'-0" CLEAR LEVEL WORK SPACE IS REQUIRED IN FRONT OF ALL TERMINATION, METERING, AND SERVICE EQUIPMENT.
- 19 RECESSED SUBPANEL.
- 20 PHONE, CABLE T.V. HEAD-INS.
- 21 SMART HOUSE/LIGHTING CONTROL RECESSED PANELS.
- 22 INFRA-TECH OUTDOOR HEATER CONTROL PANEL.
- 23 AV EQUIPMENT RACK. COORDINATE WITH AV CONTRACTOR.
- 24 GAS METER.
- 25 LINE OF ROOF, CEILING AND/OR SOFFIT ABOVE.
- 26 SKYLIGHT ABOVE.
- 27 TOILET
- 28 LAVATORY
- 29 VANITY
- 30 MIRROR
- 31 BACKLITGED MAKE-UP MIRROR
- 32 SHOWER WALL COVERING, BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. **2022 CRC R307.2**. SHOWER PAN SHALL BE INSPECTED UPON COMPLETION AND SHALL BE FILLED WITH WATER FOR INSPECTION.
- 33 LINEAR CHANNEL DRAIN W/ REMOVABLE TILE GRATE AND STRAINER.
- 34 SHAMPOO/SOAP NICHE.
- 35 TEMPERED GLASS SHOWER ENCLOSURE.
- 36 WHIRLPOOL TUB. VERIFY DRAIN LOCATION WITH TUB SPECIFICATIONS. BATHTUBS AND WHIRLPOOL BATHTUBS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTION. ACCESS OPENING SHALL BE OF A SIZE AND OPENING PERMIT THE REMOVAL AND REPLACE MENT OF THE CIRCULATION PUMP. **2022 CRC 409.6**.
- 37 FREESTANDING TUB
- 38 SHELF & HANGING ROD
- 39 ADJUSTABLE SHELVES
- 40 LINEN STORAGE
- 41 SHOES STORAGE
- 42 DRESSER
- 43 STORAGE CABINET
- 44 RECESSED OPENING FOR FLAT PANEL TELEVISION. CONTRACTOR TO VERIFY OPENING PER TELEVISION SPECIFICATIONS
- 45 COUNTERTOP & CABINET
- 46 UPPER CABINETS
- 47 KITCHEN SINK
- 48 BAR SINK
- 49 RANGE TOP WITH HOOD VENTILATION. VENTILATION SHALL BE OF METAL AND SHALL HAVE A SMOOTH INTERIOR. **2022 CMC 504.3**. COOKING APPLANCES SHALL HAVE A VERTICLE CLEARANCE ABOVE THE COOKING TOP OF NOT LESS THAN 30 INCHES TO COMBUSTIBLE MATERIAL OR METAL CABINETS. A MINIMUM CLEARANCE OF 24 INCHES IS PERMITTED AS PER SECTION **2022 CMC 920.3.2**.
- 50 DOUBLE OVEN
- 51 REFRIGERATOR AND FREEZER. PROVIDE COLD WATER STUB OUT AT FREEZER WITH SHUT-OFF FOR ICE-MAKER.
- 52 DISHWASHER
- 53 MICROWAVE
- 54 MICROWAVE DRAWER
- 55 UNDERCOUNTER REFRIGERATOR
- 56 REFRIGERATOR DRAWERS
- 57 UNDERCOUNTER WINE FRIDGE
- 58 ICE-MAKER. PROVIDE COLD WATER STUB-OUT.
- 59 TRASH/RECYCLE PULLOUT
- 60 LAUNDRY SINK
- 61 WASHING MACHINE
- 62 CLOTHES DRYER
- 63 CLOTHES DRYER EXHAUST DUCT SHALL BE OF RIGID METAL AND SHALL HAVE A SMOOTH INTERIOR SURFACE. THE DIAMETER SHALL BE NOT LESS THAN 4 INCHES NOMINAL. EXHAUST DUCT SHALL TERMINATE TO THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER. **2022 CMC 504.2**
- 64 RECESSED WALL MOUNTED IRONING BOARD
- 65 WINE ROOM WALL CONSTRUCTION
- 66 WINE BOTTLED STORAGE

PROJECT NAME

**PINNACLE**  
**LOT 9**

1740 PINNACLE POINT  
PALM SPRINGS, CA 92264  
APN: 510-340-011

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NO.	DESCRIPTION

CONSTRUCTION CLARIFICATIONS


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**NOTED FLOOR PLAN**

A24-XX

SCALE: 1/4" = 1'-0"

**A-104**

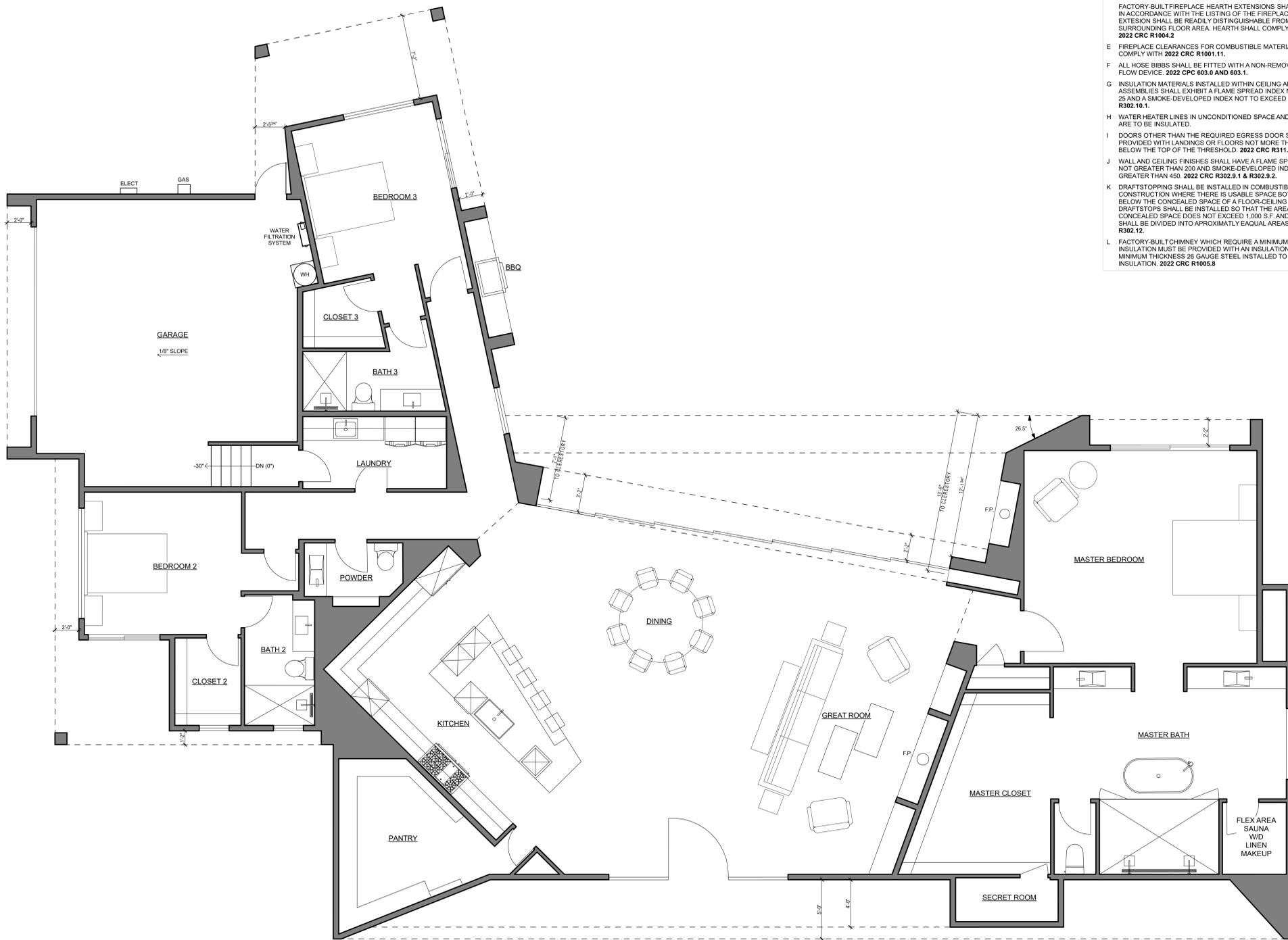
PLOT DATE: 4/26/2024



3  
A-201

4  
A-201

1  
A-201





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APN: 510-340-011

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**ROOF PLAN**

A24-XX

SCALE: 1/4" = 1'-0"

**A-105**

PLOT DATE: 4/26/2024

**ROOF GENERAL NOTES:**

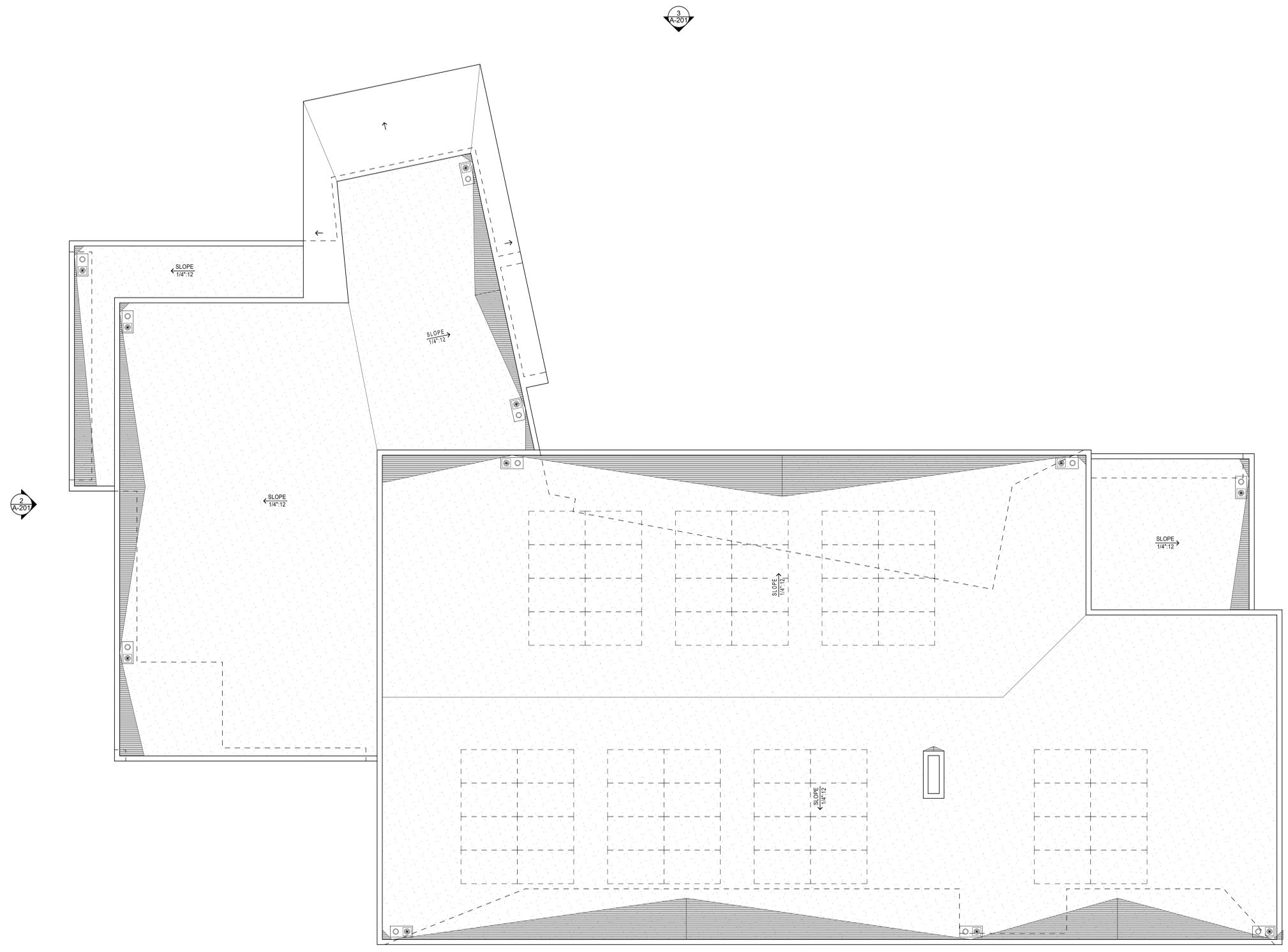
- A. ALL ROOF ELEVATIONS ARE NOTED IN RELATIONSHIP TO DATUM 0'-0".
- B. PROVIDE PROPER FLASHING, COUNTER FLASHING AND WATERPROOFING TO ALL AREAS. VERIFY FINISH WITH OWNER. FLASH AND COUNTER FLASH ALL ROOF TO WALL INTERSECTIONS WITH 24 GA. FLASHING.
- C. VERIFY ALL EAVES, RAKES AND OVERHANGS.
- D. PLUMBING AND EQUIPMENT VENTS THROUGH ROOF SHALL BE LOCATED AT REAR OF ROOF PLANES AND SHALL NOT BE VISIBLE FROM THE STREET WHERE POSSIBLE. PROVIDE FLASHING AND COLLAR FLASHING FOR ALL ROOF PENETRATIONS & PROVIDE WEATHER CAPS AT ALL FLUES FOR APPLIANCES.

**ROOF PLAN KEY NOTES:**

- 1. METAL STANDING SEAM TEE PANEL ROOFING SYSTEM, TESTED IN ACCORDANCE W/ UL 263. INSTALL PER MFR INSTRUCTIONS.
- 2. 4-PLY BUILT-UP ASPHALT ROOF SYSTEM W/ GRAVEL SURFACE. PROVIDE INSTALLATION COMPLETE WITH ALL ROOF TO WALL FLASHING AND CANT STRIPS. INSTALL PER MANUFACTURER SPECIFICATIONS. ROOF SHALL HAVE A CLASS 'A' FIRE RATING LABEL.
- 3. ROOF ASSEMBLY SHALL HAVE A CLASS 'A' FIRE RATING ROOFING MATERIAL (TYP) CRC #0634-0001 PRODUCT - TPO-2007-16" SURE WELD BY CARLISLE SYSTECH SYSTEM. ICC-ES ESR-1463 - COLOR - WHITE.  
BELOW "CARLISLE" ROOFING PROVIDE ANSI / UL #790 (CLASS A) CARLISLE RHINOBOND
- 4. SOFFIT PLASTER
- 5. CHIMNEY TERMINATION SHALL EXTEND NOT LESS THAN 2 FEET HIGHER THAN ANY PORTION OF A BUILDING WITHIN 10 FEET, BUT SHALL BE NOT LESS THEN 3 FEET ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF. 2022 CRC R1003.9. MASONRY CHIMNEYS SHALL HAVE A CONCRETE, METAL OR STONE CAP AND SHALL BE SLOPED TO SHED WATER 2022 CRC R1003.9.1. ALL CHIMNEYS ATTACHED TO ANY APPLIANCE OR FIREPLACE THAT BURNS SOLID FUEL SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTER. 2022 CRC R1003.9.2
- 6. 5/8" CDX PLYWOOD CRICKET WITH MINIMUM 26 GA SHEET METAL FLASHING WHERE REQUIRED. PROVIDE MINIMUM 1/2" PER FOOT SLOPE ON ALL CRICKETS. MINIMUM SLOPE TO BE 1/8" PER FOOT WITH VALLEY FLASHING AT TRANSITIONS TO MAIN ROOF. ALL SHEET METAL WORK SHALL CONFORM TO THE SMACNA RECOMMENDED SPECIFICATION GUIDELINES AND DETAILS.
- 7. ONE PIECE COMBINATION DRAIN AND OVERFLOW DRAIN BY "TECH-SPECIALTIES" USING 2" SUMP. PROVIDE MINIMUM 3" DIAMETER C.I. ROOF DRAINS WITH SEPARATE 3" DIAMETER ASS OVERFLOW DRAIN. PRIMARY DRAIN LINES ARE TO BE LOCATED AT EXTERIOR WALLS AND CONNECT TO THE SITE UNDERGROUND DRAINAGE SYSTEM. OVERFLOW DRAINS TO TERMINATE AT TOP OF SILL PLATE AND EXTEND A MAXIMUM OF 1' OUT FROM FACE OF WALL. PROVIDE LEAF STRAINERS. INSTALL IN 2" SUMP AS PER MANUFACTURER'S DETAILS.
- 10. FUTURE SOLAR PANELS. SEPARATE PERMIT & HOA REVIEW REQUIRED. PANELS TO BE FULLY CONCEALED BEHIND PARAPET WHEN ATTACHED TO RACKING SYSTEM. PANEL RACKING TO BE PROPERLY FLASHED AND FULLY WATER PROOFED.
- 11. PROVIDE 26 GA SHEET METAL FLASHING AND COUNTER FLASHING AT ALL TOP OF STONE WALLS. COLOR TO MATCH METAL ROOFING.

**ROOF MATERIALS & LEGEND**

- CLASS 'A' FIRE RATED ROOF
- 26 GA. GALV. METAL FLASHING.
- DENOTES DIRECTION OF SLOPE AND MINIMUM SLOPE REQUIRED
- ROOF CRICKET
- ROOF DRAIN

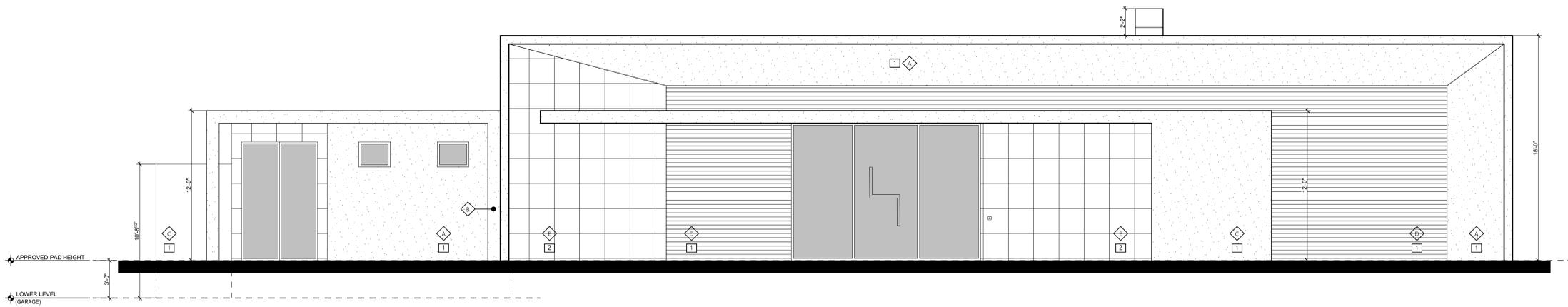




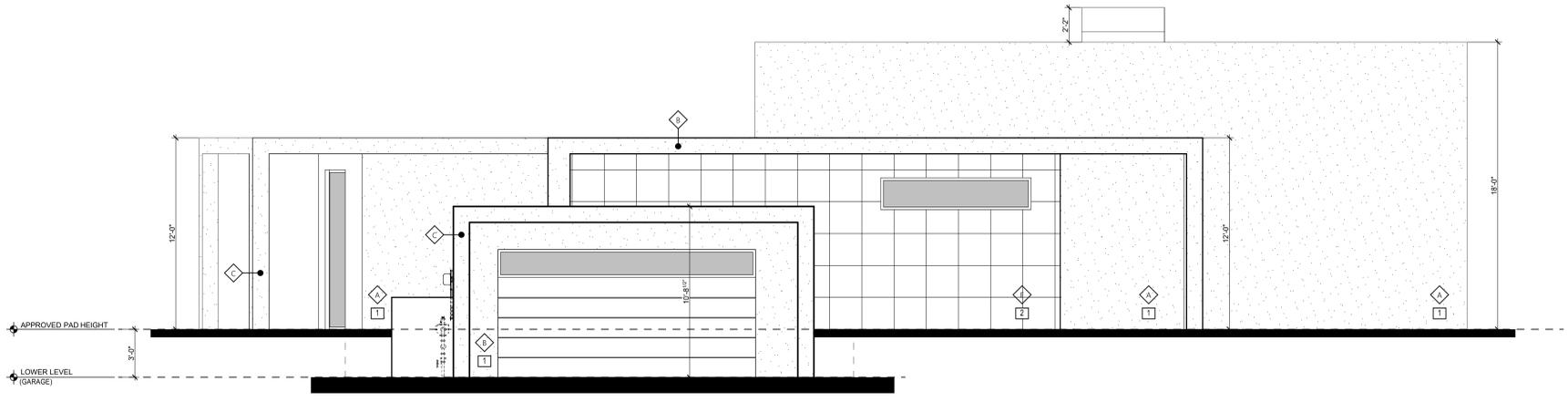
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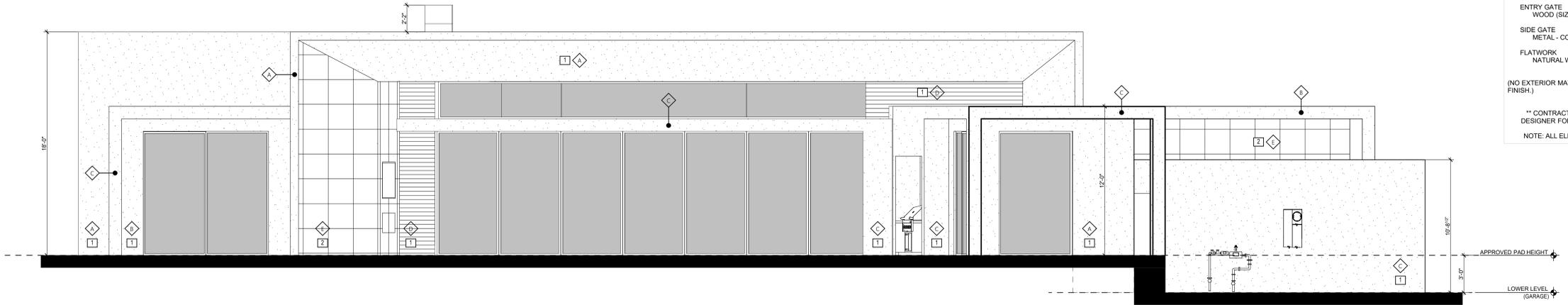
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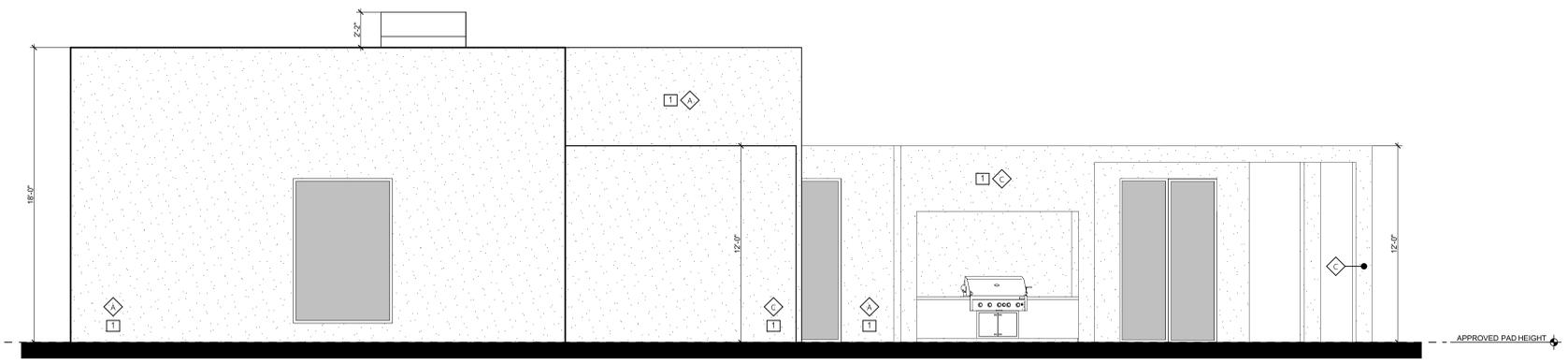
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SCALE: 1/4" = 1'-0"

- ELEVATION KEY NOTES:**
- EXTERIOR PLASTER, INSTALLATION SHALL BE IN COMPLIANCE WITH ASTM C926, ASTM C1183 AND 2022 CRC R703.7.
  - ANCHORED STONE AND STONE VENEER SHALL BE INSTALLED IN ACCORDANCE WITH 2022 CRC R703.8, TABLE R703.3(1) AND FIGURES R703.8(1) AND R703.8(2).
  - PLASTER CONTROL JOINT
  - CHIMNEY TERMINATION SHALL EXTEND NOT LESS THAN 2 FEET HIGHER THAN ANY PORTION OF A BUILDING WITHIN 10 FEET, BUT SHALL BE NOT LESS THAN 3 FEET ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF. 2022 CRC R1003.9. MASONRY CHIMNEYS SHALL HAVE A CONCRETE, METAL OR STONE CAP AND SHALL BE SLOPED TO SHED WATER. 2022 CRC R1003.9.1 ALL CHIMNEYS ATTACHED TO ANY APPLIANCE OR FIREPLACE THAT BURNS SOLID FUEL SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTER. 2022 CRC R1003.9.2
  - WEEP SCREED, MINIMUM NO. 25 GALVANIZED SHEET GAGE, CORROSION RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED SHALL BE PLACED NOT LESS THAN 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. 2022 CRC R703.7.2.1.
  - EXTERIOR WALL SCONCE. SEE ELECTRICAL DRAWINGS
  - POST W/ BRAKE METAL CLADDING.
  - FUTURE SOLAR PANEL LOCATION

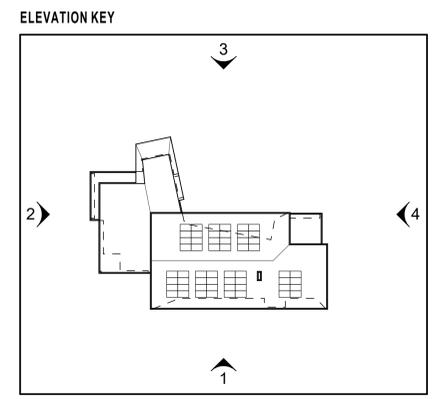
EXTERIOR MATERIALS & COLORS	
<b>STUCCO</b>	
◆ MAIN COLOR	COLOR: DUNN EDWARDS - RECLAIMED WOOD (#DET 625) (LRV 47) FINISH: SAND
◆ ACCENT COLOR	COLOR: DUNN EDWARDS - METAL FRINGE (#DET 626) (LRV 21) FINISH: SAND
◆ ACCENT COLOR	COLOR: DUNN EDWARDS - ALMOND MILK (#DEHW01) (LRV 83) FINISH: SAND
◆ ACCENT COLOR	COLOR: DUNN EDWARDS - METAL FRINGE (#DET 626) (LRV 21) FINISH: RAKED STUCCO
<b>DOORS &amp; WINDOWS</b>	
WINDOW	FRAME: CLEAR NATURAL ALUMINUM
GARAGE DOOR	CLEAR ANODIZED ALUMINUM
<b>CHIMNEY CAPS</b>	COLOR: DUNN EDWARDS - METAL FRINGE (#DET 626)
<b>STONE VENEER WALLS</b>	
◆ STONE 1	NATURAL STONE EARTH BLEND
<b>ROOFING</b>	COLOR: TAN
<b>SITE</b>	
GARDEN WALLS	COLOR: DUNN EDWARDS - ALMOND MILK (#DEHW01) (LRV 83)
ENTRY GATE	WOOD (SIZE, SPACING & FINISH T.B.D.)
SIDE GATE	METAL - COLOR: DUNN EDWARDS - METAL FRINGE (#DET 626)
FLATWORK	NATURAL WASHED FINISHED CONCRETE
(NO EXTERIOR MATERIALS SHALL HAVE A HIGH GLOSS OR REFLECTIVE FINISH.)	
** CONTRACTOR TO SUBMIT ALL EXTERIOR MATERIALS TO THE DESIGNER FOR APPROVAL PRIOR TO CONSTRUCTING MOCK-UP.**	
NOTE: ALL ELEVATIONS ARE NOTED IN RELATION TO DATUM 0'-0"	



**3 ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 ELEVATION**  
SCALE: 1/4" = 1'-0"



PROJECT NAME

**PINNACLE LOT 9**

1740 PINNACLE POINT  
PALM SPRINGS, CA 92264  
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ELEVATIONS

A24-XX

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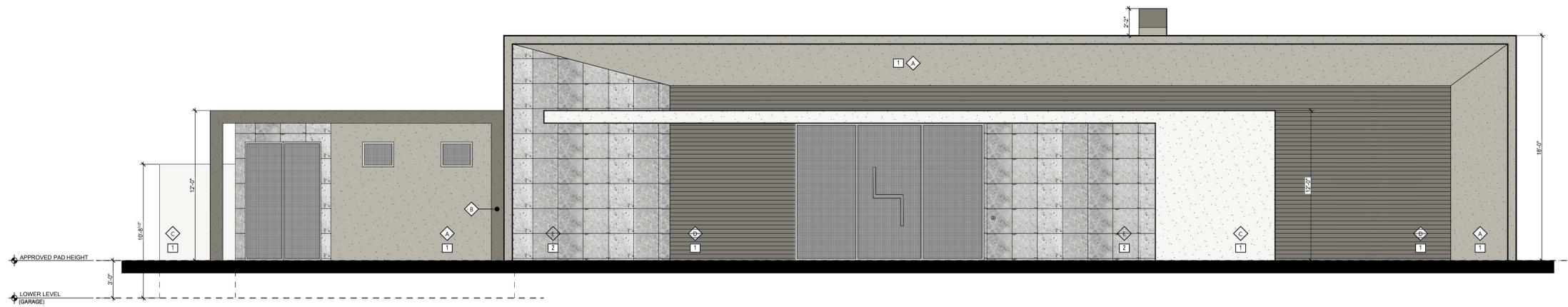
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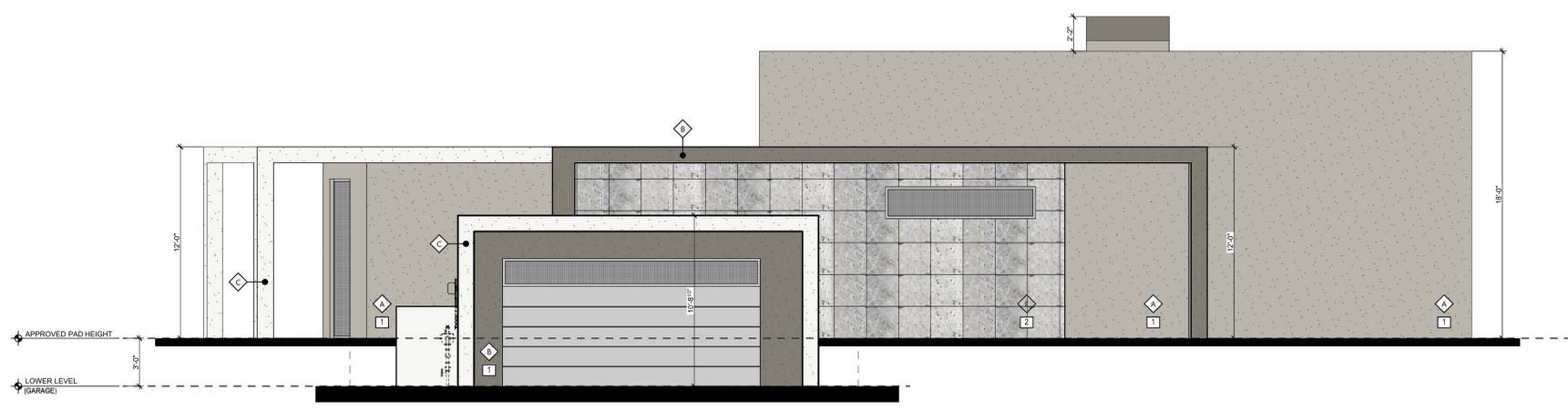
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1 ELEVATION  
SCALE: 1/4" = 1'-0"



2 ELEVATION  
SCALE: 1/4" = 1'-0"

STUCCO	STONE
<ul style="list-style-type: none"> <li>◆ MAIN COLOR COLOR: DUNN EDWARDS - RECLAIMED WOOD (#DET 625) (LRV 47) FINISH: SAND</li> </ul>	<ul style="list-style-type: none"> <li>◆ STONE 1 NATURAL STONE EARTH BLEND</li> </ul>
<ul style="list-style-type: none"> <li>◆ ACCENT COLOR COLOR: DUNN EDWARDS - METAL FRINGE (#DET 626) (LRV 21) FINISH: SAND</li> </ul>	<p>OTHER</p> <ul style="list-style-type: none"> <li>WINDOW FRAME: CLEAR NATURAL ALUMINUM</li> </ul>
<ul style="list-style-type: none"> <li>◆ ACCENT COLOR COLOR: DUNN EDWARDS - ALMOND MILK (#DEHW01) (LRV 83) FINISH: SAND</li> </ul>	<ul style="list-style-type: none"> <li>ROOFING MEMBRANE COLOR: TAN</li> </ul>
<ul style="list-style-type: none"> <li>◆ ACCENT COLOR COLOR: DUNN EDWARDS - METAL FRINGE (#DET 626) (LRV 21) FINISH: RAKED STUCCO</li> </ul>	<ul style="list-style-type: none"> <li>FLATWORK NATURAL WASHED FINISHED CONCRETE</li> </ul>

PROJECT NAME

**Pinnacle Lot 9**

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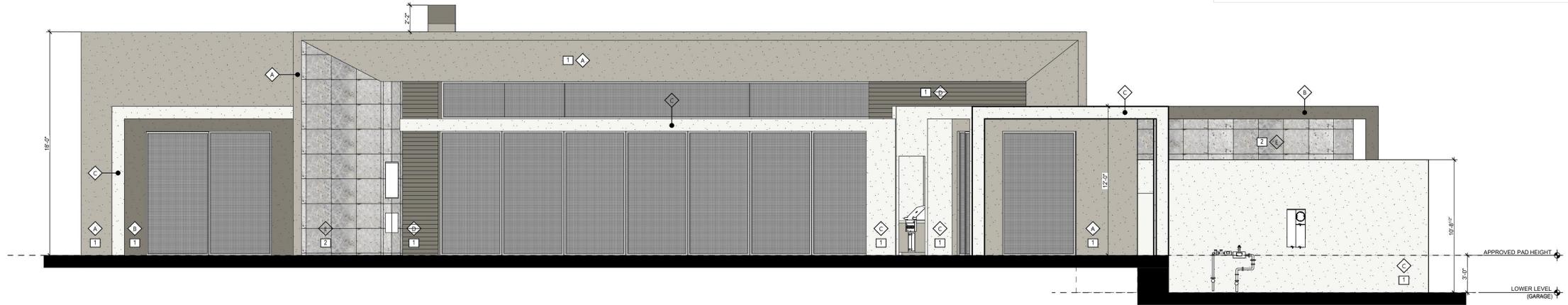
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COLORED EXTERIOR ELEVATIONS

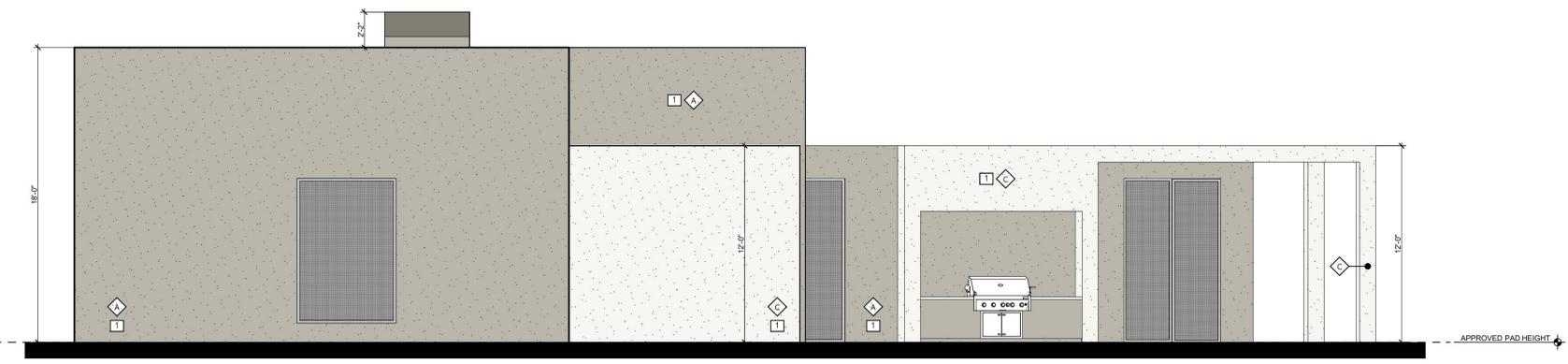
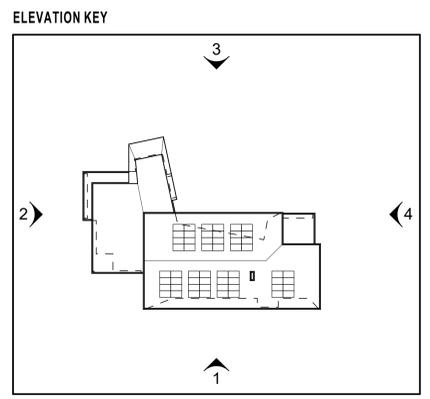
A24-XX

SCALE: 1/4" = 1'-0"

**A-202**



3 ELEVATION  
SCALE: 1/4" = 1'-0"



4 ELEVATION  
SCALE: 1/4" = 1'-0"



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CITY APPROVAL



PROJECT NAME

**PINNACLE  
LOT 9**

1740 PINNACLE POINT  
PALM SPRINGS, CA 92264  
APN: 510-340-011

REVISIONS


CONSTRUCTION CLARIFICATIONS


CURRENT DRAWING STATUS

- PRELIMINARY
- BID SET ONLY
- PLAN REVIEW SUBMITTAL
- FOR CONSTRUCTION

**RENDERINGS**

A24-XX

NOT TO SCALE

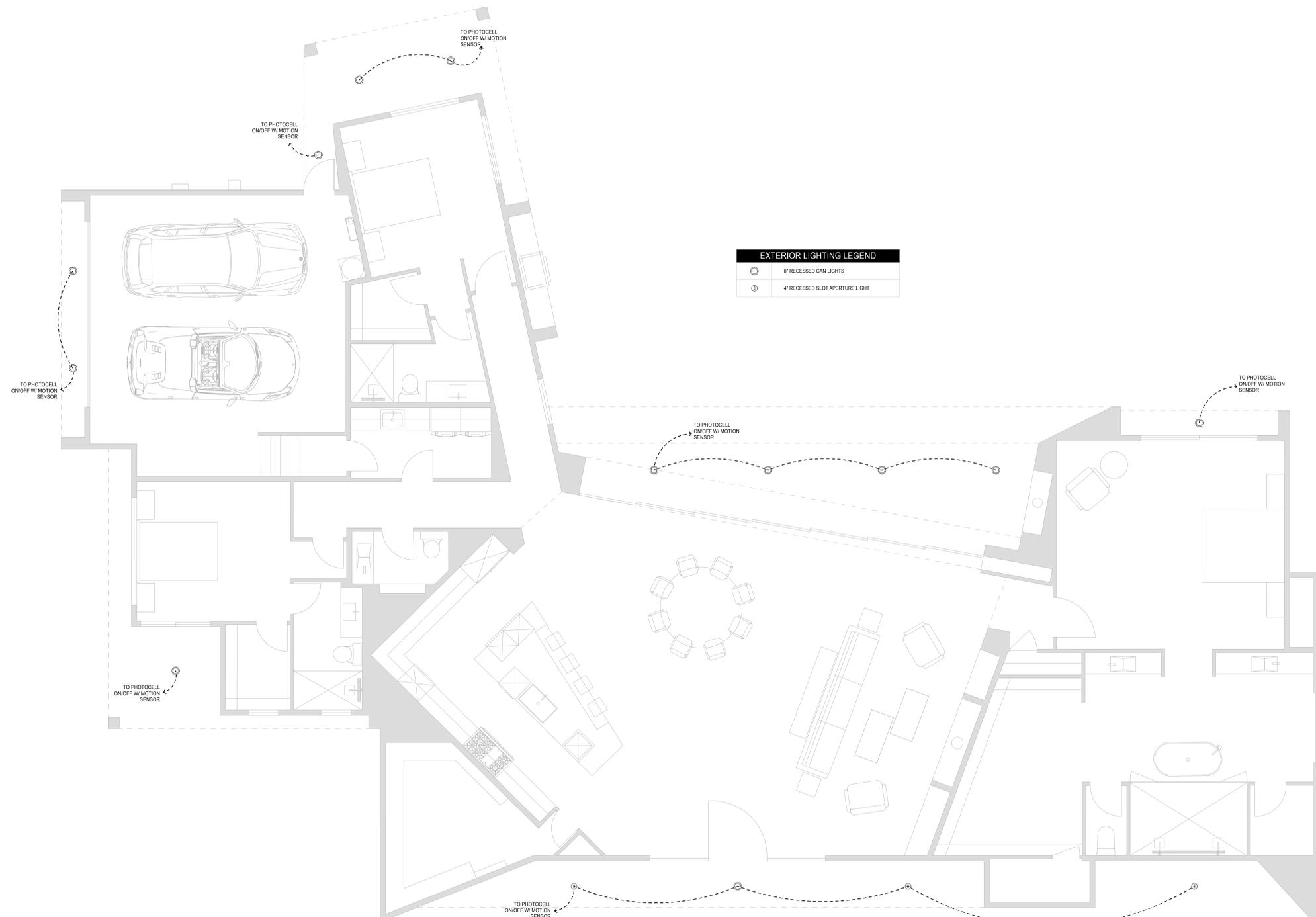
**A-203**



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EXTERIOR LIGHTING LEGEND	
○	6" RECESSED CAN LIGHTS
□	4" RECESSED SLOT APERTURE LIGHT

PROJECT NAME

### PINNACLE LOT 9

1740 PINNACLE POINT  
PALM SPRINGS, CA 92264  
APN: 510-340-011

REVISIONS


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### PRELIMINARY EXTERIOR LIGHTING PLAN

A24-XX

SCALE: 1/4" = 1'-0"

# E-101

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CITY APPROVAL

PROJECT NAME

**PINNACLE LOT 9**

1740 PINNACLE POINT  
 PALM SPRINGS, CA 92264  
 APN: 510-340-011

REVISIONS


CONSTRUCTION CLARIFICATIONS


CURRENT DRAWING STATUS

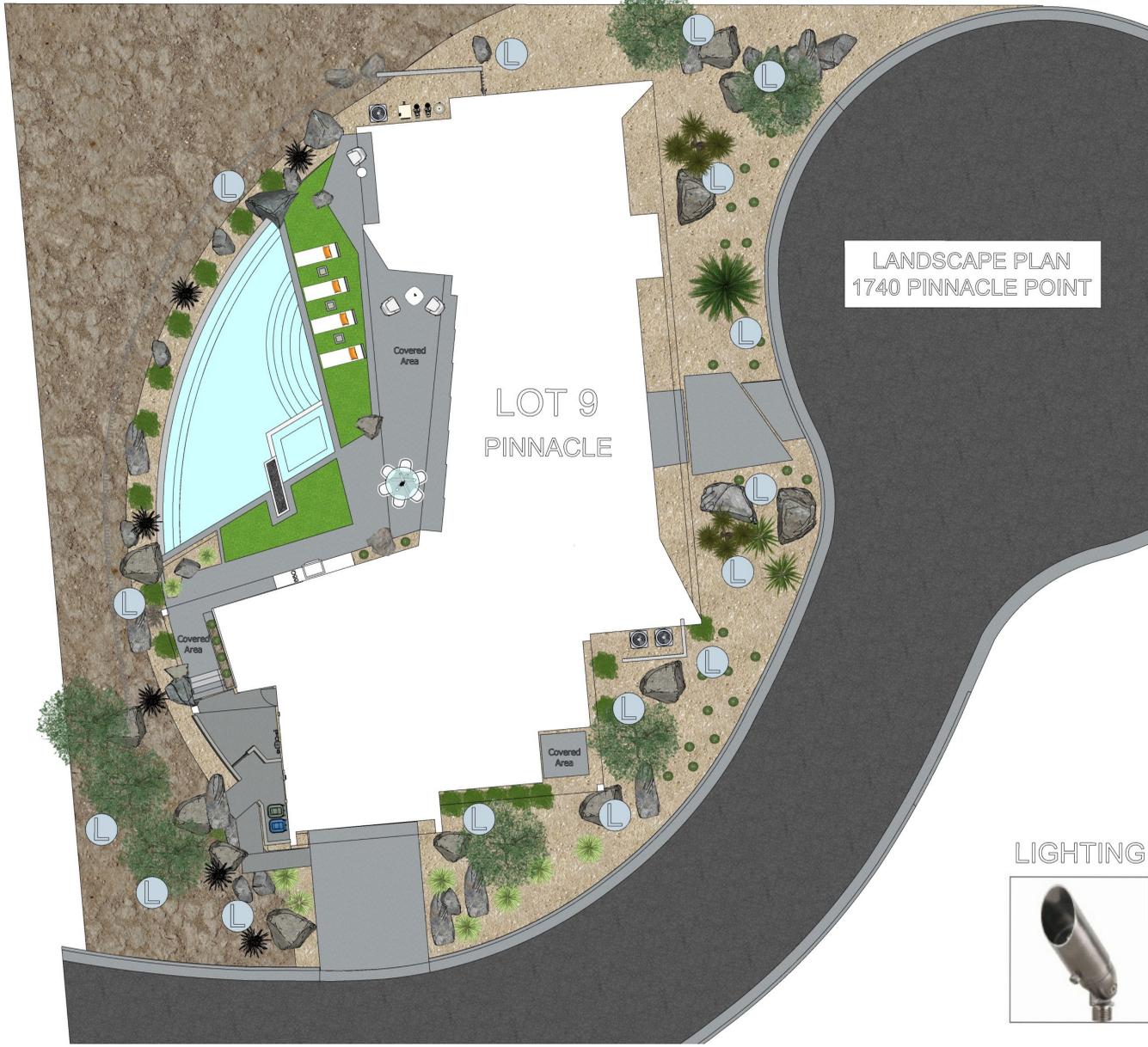
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- FOR CONSTRUCTION

**PRELIMINARY LANDSCAPE**

A24-XX

NOT TO SCALE

**L1**



**LEGEND**

- (7) Palo Verde 36" to 48" Box
- (2) Spineless Yucca - 24" Box
- (1) Pygmy Date Palm - 24" Box
- (9) Blue Agave - 15 Gallon
- (9) Agave Americana - 15 Gallon
- (18) Baccharis x Thompson = 5 Gallon
- (10) Native Grasses = 5 Gallon
- (34) Golden Barrel Cactus - 10 Gallon
- Assorted Native Rock - 2' And Larger
- Desert Blend Gravel
- Artificial Turf

**LIGHTING**



VOLT uplighting MR16 7 watt bulb 2700k - 500 lumens  
 Fixtures to be installed at trees and boulder groupings