



ARCHITECTURAL REVIEW COMMITTEE MEMORANDUM

DATE: OCTOBER 21, 2024

CONSENT

SUBJECT: A REQUEST BY MYCG, INC. ON BEHALF OF THE PROPERTY OWNER, CHRIS FREEMAN, FOR APPROVAL OF MAJOR ARCHITECTURAL (MAJ) AND ADMINISTRATIVE MINOR MODIFICATION (AMM) APPLICATIONS TO CONSTRUCT A 3,280-SQUARE-FOOT SINGLE-FAMILY RESIDENCE, 1,061-SQUARE-FOOT ATTACHED FOUR-CAR GARAGE, AND A 332-SQUARE-FOOT DETACHED CASITA ON A HILLSIDE PARCEL LOCATED AT 1961 VISTA PALIZADA (LOT 67) (APN: 504-400-011) WITHIN THE DESERT PALISADES SPECIFIC PLAN, ZONE ESA-SP, SECTION 4 (CASE AR-2024-0027 & AMM-2024-0002). (AR)

FROM: Department of Planning Services

PROJECT DESCRIPTION:

This is a request for approval of a Major Architectural (MAJ) application for the construction of a new 3,280-square-foot single-family residence, a 1,061-square foot, four-car garage and a 332-square foot detached casita on a 22,651-square-foot lot within the Desert Palisades Specific Plan area. The proposed maximum building height is 18'-7", single-story, as measured to the top of the fascia. This project is required to be evaluated for consistency against the following guidelines and standards:

- Section 93.13.00 of the Zoning Code (Hillside Development).
- Section 94.04 of the Zoning Code (Architectural Review).
- Section III "Development Standards" (page 58), Section V "Architecture & Site Design Guidelines" (page 70), and Section VI "Landscaping Guidelines of the DPSP" (page 96) of the Desert Palisades Specific Plan
- Section 92.21.1.05 of the Zoning Code (Design Guidelines for the ESA-SP zone) including mandatory standards in Part "D" and findings outlined in Part "I".

RECOMMENDATION:

That the Architectural Review Committee approve the Major Architectural Application subject to the attached conditions.

BACKGROUND INFORMATION:

<i>Related Relevant City Actions</i>	
01/05/2011	The City Council approved the Desert Palisades Specific Plan and certified the Final Environmental Impact Report (EIR) for the project.
01/07/2015	The City Council approved an addendum to the previously certified EIR to extend the time frame in which grading activities could occur from December 31 st to January 31 st .

<i>Neighborhood Meeting/Neighborhood Notice</i>	
05/08/2024	Notice mailed by staff to adjacent property owners notifying them that the subject application had been filed with the Department of Planning Services, in accordance with 93.13.00 of the Zoning Code.
10/10/2024	Notice mailed by staff to adjacent property owners notifying them that the subject project would be reviewed by the Architectural Review Committee on October 21, 2024.
10/10/2024	The surrounding neighborhood organizations within one (1) mile of the site were sent notice that the proposed project would be reviewed by the Architectural Review Committee on October 21, 2024.

STAFF ANALYSIS:

<i>Site Area</i>	
Net Acres	0.52 Acres (22,651 square feet)

<i>General Plan and Zoning Designations</i>		
<i>General Plan Designation</i>	<i>Permitted Density (Max)</i>	<i>Compliance</i>
SPA	1 DU/ 40 Acres* *Max. 2 DU/Acres is permitted within the DPSP area	Y
<i>Zoning Designation</i>		
ESA-SP Planning Area 4 (Desert Palisades Specific Plan)		

PSZC Section 94.04.00(E)(13) requires that the proposed application be consistent with any adopted Specific Plan or Planned Development District Design Standards:

<i>Applicable Specific Plan Area or Design Standards</i>	<i>Compliance</i>
Desert Palisades Specific Plan	Y, as conditioned

Development Standards:

The proposed project is subject to the Desert Palisades Development Standards stated in Section III (ESA-SP Planning Area 4 Proposed Zoning Code, pages 60-64) of the

Desert Palisades Specific Plan. Conformance to the applicable development standards is analyzed in the table below:

Pursuant to PSZC Section 92.01.03, the following development standards apply:

<i>Standard</i>	<i>Required/ Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Setbacks <ul style="list-style-type: none"> • Front (East) • Side (North) • Side (South) • Rear (West) 	25 Feet 10 Feet 10 Feet 15 Feet	22'-7" Feet 17'-6" Feet 10 Feet 30 Feet	Y, With an AMM Y Y* Y
Max. Lot Coverage	35%	26%	Y
Max. Building Height	18 Feet	15 Feet from FF. 18'-7" to top of fascia.	Y
Parking	2 spaces (covered)	4 spaces (Enclosed Garage)	Y
Wall / Fence Height	Maximum 5 feet. Not allowed on property line or between lots except to enclose swimming pools.	3'-11" with a 3'-6" screen wall.	Y

* Excludes minor architectural projection.

HILLSIDE REVIEW CRITERIA:

PSZC Section 93.13.00(B)(4) requires that architectural review of hillside development shall consider the following criteria:

	<i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i>	<i>Compliance</i>
1.	<i>Rock and soil exposure;</i> The project site is currently undeveloped. There are multiple exposed boulders in varying sizes on site, which appear very similar to other undeveloped hillside properties in the city. The construction of the house will limit disturbance to the site as much as possible. There will be no disturbance of the "no-build" easement, which will stay in its naturalized appearance. Additionally, there is a natural drainage channel, as indicated in exhibit 8A, of the Desert Palisades Specific Plan at runs along the northern property line.	Y
2.	<i>Size of building pad;</i>	Y

	<i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i>	<i>Compliance</i>
	The size of the proposed building pad is 4,628-square feet. The proposed building pad will be consistent in size to other dwellings within Desert Palisades. The project conforms to DPSP standards for non-mass grading.	
3.	<i>Design considerations, such as supporting stilts, colors and building arrangement;</i> There is a deep drainage channel that runs along the northern property line, from west to east. The project proposes a garage adjacent to an existing headwall, which will be supported by concrete retaining walls with deepened footing. Supporting stilts are not proposed.	Y
4.	<i>Screening of parking areas;</i> Section V (Architectural and Site Design Guidelines) of the Desert Palisades Specific Plan states, “All sites are encouraged to minimize the impact of parking and drives from the street...” (Desert Palisades Specific Plan, page 73) and “Parking shall be screened, to the degree possible, from street and adjacent home sites...” (Desert Palisades Specific Plan, page 74). The project proposes two, two-car garages that are located towards the front of the property and visible from the street. However, the position of the two garages are angled south, and its opening does not directly face the street. Additionally, a decorative combo wall will be located in the front of the property, which will provide additional screening of the parking areas.	Y
5.	<i>Landscaping plans;</i> The proposed landscape plan includes Palo Verde, Silver Yucca, Madagascar Palm Tree, Safari Sunrise Aloe, Linear Leaf Yucca Agave Americana, Agave Angustifolia, Golden Barrel Cactus and Organ Pipe cactus. The new plant materials will be scattered throughout the site to retain the site’s organic appearance, and plant groupings will be applied to accentuate open areas. Landscape is not proposed within the no-build area.	Y
6.	<i>Continuity with surrounding development;</i> The parcels adjacent to the subject property on the north and south are currently undeveloped. The existing dwelling on the west parcel has a modern design and was built as a single-story residence. The proposed house is similar in design to others currently built and under construction within the Desert Palisades community.	Y
7.	<i>Sensitivity to existing view corridors.</i>	Y

	<i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i>	<i>Compliance</i>
	The main dwelling unit has a finished floor of 870.5. The first garage steps down approximately three feet, with a finished floor at 867.5 and the second garage and casita step down another foot, with a finished floor at 866.7. The project site is not adjacent to any existing or proposed projects on the north or south, as of today. Due to the location of the project site, lot 67 will not have an adjacent neighbor to the east. Thus, the proposed residence will not obstruct views from future adjacent dwellings.	

Conclusion: The project is consistent with the architectural guidelines of Zoning Code Section 93.13.00. (“Hillside Development”).

ARCHITECTURAL REVIEW CRITERIA AND FINDINGS:

Architectural Review Criteria and Findings:

PSZC Section 94.04.00(E) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
1.	<p><i>The architectural treatment is consistent on all four sides of the proposed building(s), unless otherwise approved by the ARC;</i></p> <p>The home is appropriately sited on the lot with the outdoor living areas oriented to the southeast of the parcel, allowing the bedrooms to take advantage of views on the west. The architectural treatment consists of floor to ceiling windows, large overhangs to protect from sun exposure and a stucco exterior. The project proposes consistent architectural treatment on all sides.</p>	Y
2.	<p><i>The design of accessory structures, such as carports, cabanas, and similar accessory structures, shall be consistent with the form, materials and colors of the principal building(s), unless otherwise approved by the ARC;</i></p> <p>The proposed project includes a detached casita, which is consistent with the overall color, material, and design of the main house.</p>	Y
3.	<p><i>The façade elements and fenestration are composed in a harmonious manner;</i></p> <p>The project proposes very simplistic façade elements and fenestration treatment to showcase the details and contrast of building materials and colors. The proposed primary elevation demonstrates consistent design treatment throughout as exemplified by the floor-to-ceiling glazing systems and the repeated use of identical materials. Such architectural elements are properly scaled and positioned.</p>	Y
4.	<p><i>The proposed materials are consistent with the context of the site, adjacent buildings, and the desert environment;</i></p>	Y

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
	The proposed building materials consist of smooth texture stucco, painted dove gray, and black metal fascia, all of which are commonly used and are appropriate for the surrounding desert environment.	
5.	<i>The proposed color scheme is appropriate to the desert environment and consistent with the site context;</i> A desert-neutral color palette which consists of black, gray, and light brown is proposed. The color palette is appropriate for the surrounding desert environment.	Y
6.	<i>Shading devices and sun control elements, excluding landscape materials, are provided to address environmental conditions and solar orientation;</i> The project features sufficient overhangs on all sides of the main residence, and especially on the south and west facing elevations. The detached casita will also have shade coverage primarily on the south elevation where the glass door is located. Lastly, though the pool itself does not seem to benefit from any shading device there is a large outdoor patio that will provide sufficient shade to the outdoor living area. The overhang on the southwest corner of the house projects into the side yard setback 39 inches, which is permitted per Section 93.01.00 (F)(3)(a) of the PSZC and will provide additional solar control for the master bedroom.	Y
7.	<i>The proposed landscape plan is consistent with the requirements of PSMC Chapter 8.60;</i> The proposed plant palette generally consists of native plants and the plant materials that are included in the Lush and Efficient landscape gardening book, and there is no turf application proposed for this project. There is no irrigation information provided for the proposed landscape at this time; however, the irrigation plans will be submitted along with the landscape construction documents. In addition to the requirement for conformance with the City's Water Efficient Landscape Ordinance, the landscape and irrigation plans are subject to review and approval by the Riverside County Agricultural Commissioner's Office and Desert Water Agency (DWA). This is conditioned (PLN 1) to ensure that the project aligns with the City's Water Efficient Landscape Ordinance. As conditioned, the proposed project meets this requirement.	Y
8.	<i>The proposed landscape plan is consistent with all applicable zoning requirements, including any streetscape requirements, landscape buffer requirements, and screening requirements;</i>	Y

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
	The proposed landscape plan submitted includes Parkinsonia Florida Palo Verde, Silver Yucca, Madagascar Palm Trees, Safari Sunrise Aloe, Linear Leaf Yucca, Agave, Golden Barrel Cactus and Organ Pipe Cactus interspersed between boulders and throughout the project site. These plant materials are consistent with the design guidelines.	
9.	<i>The shading for pedestrian facilities on the subject site or abutting public right(s)-of-way is adequate;</i> There are pedestrian trails located throughout the Desert Palisades development. Desert appropriate shade trees have been proposed along the front of the property to provide more shade along the trail adjacent to the subject site.	Y
10.	<i>The proposed lighting plan is consistent with the requirements of PSZC Section 93.21.00, and the proposed lighting will not materially impact adjacent properties;</i> The project proposes a variety of landscape light fixtures, which include but are not limited to, nine (9) LED tree flood lights, twenty-one (21) accent LED lights, five (5) path lights and 1 transformer controller. All lighting is conditioned to conform to Outdoor Lighting Standards per Section 93.21.00 of the PSZC..	Y
11.	<i>Appropriateness of signage locations and dimensions relative to the building façade(s), or appropriateness of the site location for any freestanding signage, as may be warranted for the development type;</i> No signage is proposed.	N/A
12.	<i>Screening is provided for mechanical equipment and service yards, so as to screen such facilities from view from public rights-of-way and abutting properties;</i> The mechanical equipment will be placed at grade on the west side of the property. It will be adequately screened by a block wall and will not be visible from the public right-of-way or the adjacent properties.	Y
13.	<i>The proposed application is consistent with any adopted design standards of an applicable specific plan, planned development district, or other applicable adopted design standards and regulations.</i> The proposed project is subject to the guidelines and regulations of the General Plan, zoning code, and Desert Palisades Specific Plan. The proposed design is consistent with the applicable design standards and regulations subject to the approval of an Administrative Minor Modification application to approve the reduction of the front yard setback to 22'-7". As conditioned, the proposed project meets this finding.	Y, with AMM

In addition to the Hillside Review and Architectural Review criteria, as well as the findings of Palm Springs Zoning Code Sections 93.13.00(B)(4) and 94.04.00(E) stated above, the proposed project is consistent with the Site Design Guidelines/Architectural Guidelines (Section V) and Landscaping Guidelines (Section VI) of the Desert Palisades Specific Plan as conditioned.

ADMINISTRATIVE MINOR MODIFICATION (AMM) REVIEW CRITERIA AND FINDINGS:

As noted earlier in this staff report, the project proposes to reduce the front yard setback from 25 feet to 22 feet 7 inches. PSZC Sections 94.06.01(B)(1)(c) and (B)(3) require the Architectural Review Committee (ARC) make the following findings for the approval of an AMM application:

	<i>Guidelines [PSZC 94.06.01(B)(3)]</i>	<i>Compliance</i>
1.	<p><i>The requested minor modification is consistent with the general plan, applicable specific plan(s) and overall objectives of the zoning ordinance;</i></p> <p>The approval of this AMM application is requested for the reduction of the front yard setback from 25-feet to 22'-7" in accordance with Palm Springs Zoning Code Section 94.06.01(A)(10). The approval of this AMM application will allow the development of a single-family residence on a hillside lot, which is consistent with the objectives of the General Plan and zoning ordinance and Desert Palisades Specific Plan.</p>	Y
2.	<p><i>The neighboring properties will not be adversely affected as a result of the approval or conditional approval of the minor modification;</i></p> <p>The project site is adjacent to undeveloped parcels on the north and south, with no option to build across the street to the east. The overall height of the building from the lowest grade to the top of the proposed residence is 18'-7" tall. The main portion of the building is measured 15 feet from the adjacent finished floor. The two, attached garage structures and one-detached casita are measured approximately 9 feet from the adjacent finished floor. The entire development will not exceed the 18-foot pillow height and therefore will not adversely affect the surrounding properties.</p>	Y
3.	<p><i>The approval or conditional approval of the minor modification will not be detrimental to the health, safety, or general welfare of persons residing or working on the site or in the vicinity; and</i></p> <p>The approval of this AMM application will not affect or alter the single-family residential use of the subject property. The proposed residence will be required to be constructed in accordance with the applicable zoning code regulations and the California Building Code for safety compliance. Therefore, it will not adversely affect the individuals who live or work on the site or in its vicinity.</p>	Y

	<i>Guidelines [PSZC 94.06.01(B)(3)]</i>	<i>Compliance</i>
4.	<p><i>The approval of the minor modification is justified by environmental features, site conditions, location of existing improvements, or historic development patterns of the property or neighborhood.</i></p> <p>In addition to the hillside topography, the proposed project is challenged by the existing culvert and a deep drainage channel which dissects the project on the northeast side of the property. Additional challenges include an open space easement along the northern property line and large boulders throughout the site. Per the applicant, in order to minimize grading, and to fit the design under the 18-foot pillow line, a reduction of the front yard setback is requested. Therefore, the approval of an AMM application is justified by the site’s existing conditions.</p>	Y

ENVIRONMENTAL ANALYSIS:

The proposed development is considered a “project” pursuant to the terms of the California Environmental Quality Act (“CEQA”) and has been determined to be categorically exempt pursuant to Section 15303(a) of the CEQA Guidelines (Class 3, New Single-Family Residence).

CONCLUSION:

As demonstrated in this memo, the Project conforms to the Architectural Guidelines of PSZC Sections 93.13.00 (“hillside development”) and 94.04.00 (“architectural review”); the Architecture, Landscaping and Design Guidelines of Desert Palisades Specific Plan Sections V (“Architecture and Site Design”) and VI (“Landscaping Guidelines”); and Design Standards of PSZC Section 92.21.1.05 (“Findings Required for Approval”). Therefore, Staff recommends approval, subject to the attached conditions of approval.

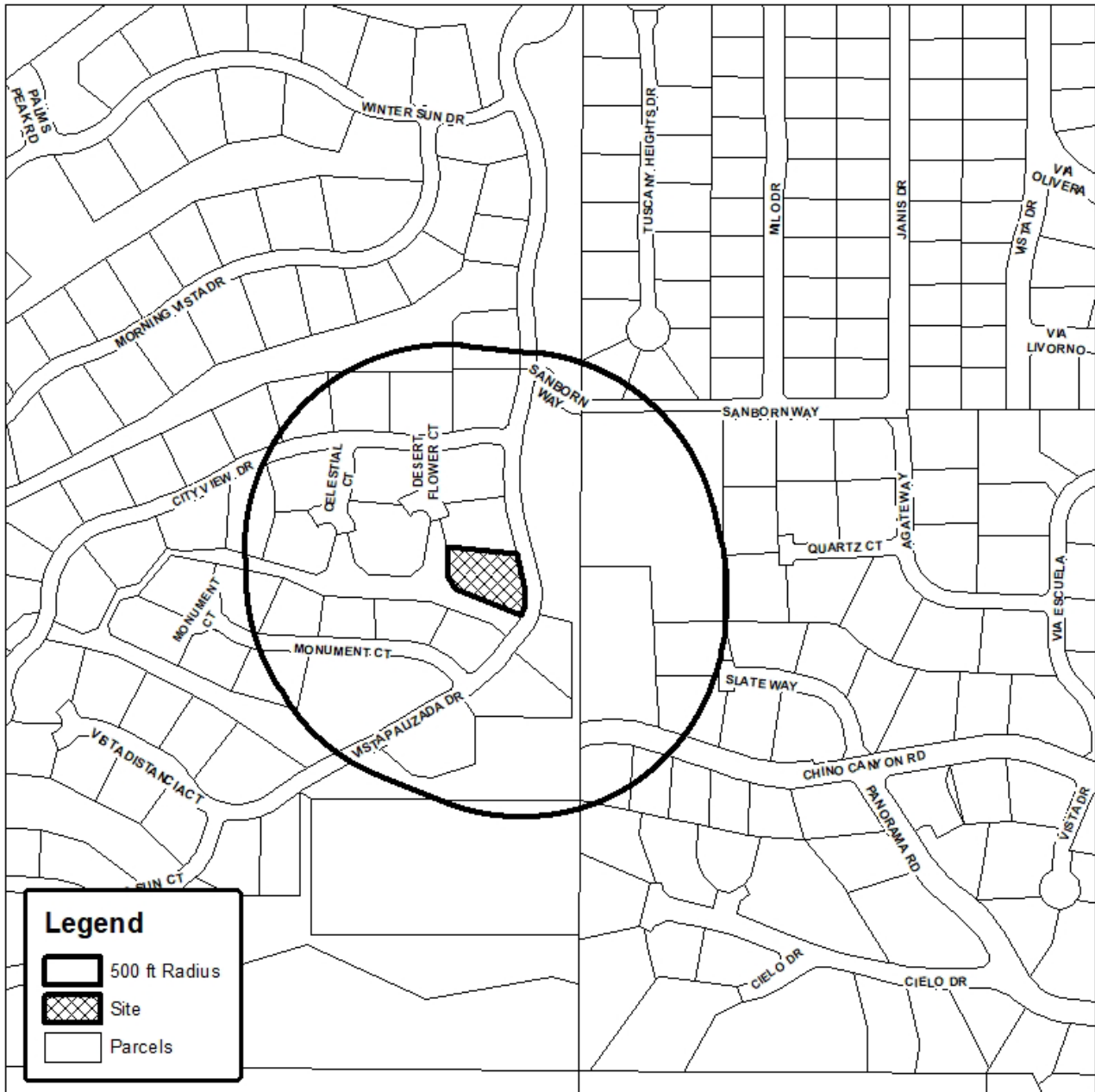
PREPARED BY:	Alex Rubalcava, Assistant Planner
REVIEWED BY:	Edward Robertson, Principal Planner
REVIEWED BY:	Christopher Hadwin, Planning Director

ATTACHMENTS:

- A. Vicinity Map
- B. Draft Resolution
- C. Conditions of Approval
- D. Justification Letter
- E. Exhibit Package



Department of Planning Services Vicinity Map



Legend

- 500 ft Radius
- Site
- Parcels

CITY OF PALM SPRINGS

1961 Vista Palizada Dr, Palm Springs, California, 92262

RESOLUTION NO. _____

A RESOLUTION OF THE ARCHITECTURAL REVIEW COMMITTEE OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING A MAJOR ARCHITECTURAL APPLICATION AND AN ADMINISTRATIVE MINOR MODIFICATION APPLICATION FOR THE DEVELOPMENT OF A 4,341 SQUARE-FOOT SINGLE-FAMILY RESIDENCE AND 332-SQUARE FOOT CASITA ON A HILLSIDE LOT LOCATED AT 1961 VISTA PALIZADA (APN: 504-400-011) DRIVE (CASE AR-2024-0027 & AMM-2024-0002).

THE ARCHITECTURAL REVIEW COMMITTEE FINDS AND DETERMINES AS FOLLOWS:

A. MYCG, INC., on behalf of the Property Owner (“Applicant”), filed a Major Architectural Review application and an Administrative Minor Modification application with the City, pursuant to Palm Springs Zoning Code (PSZC) Sections 94.04.00 (“architectural review”), 93.13.00 (“hillside development”), and 94.06.01 (“minor modifications”) of the Palm Springs Zoning Code, for construction of a 4,341-square-foot single-family residence and a 332-square foot casita at 1961 Vista Palizada (APN: 504-400-011) (“the Project”).

B. On April 8, 2021, the City Council adopted Ordinance No. 2042, amending Section 94.04.00 of the PSZC to reassign review of Major Architectural Review applications from the City’s Planning Commission to the City’s Architectural Review Committee (ARC).

C. On May 5, 2024, City staff notified the owners of the properties immediately adjacent to the project site of a new hillside development application. On October 10, 2024, City staff notified the owners of properties immediately adjacent to the Project site of the scheduling of an Architectural Review Committee meeting to consider the subject application, pursuant to PSZC 93.13.00(B)(1)(c).

D. On October 21, 2024, the City’s Architectural Review Committee held a public meeting in accordance with applicable public law. At said meeting, the Architectural Review Committee carefully reviewed and considered all of the evidence presented in connection with the Project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE ARCHITECTURAL REVIEW COMMITTEE RESOLVES:

Section 1: The proposed single-family residence is considered a project pursuant to the California Environmental Quality Act (CEQA). The Architectural Review Committee has evaluated the Project pursuant to CEQA and determined it to be Categorically Exempt from further analysis under CEQA Guidelines Section 15303(a) (Class 3, New Construction or Conversion of Small Structures).

Section 2: As demonstrated in the staff report, the Project conforms to the review criteria and findings of PSZC Sections 93.13.00 (“hillside development”), 94.04.00 (“architectural review”),

and 94.06.01 (“minor modifications”), subject to conditions of approval.

Section 3: Based upon the foregoing, the Architectural Review Committee hereby approves Cases AR-2024-0027 and AMM-2024-0002, for the construction of a 4,341-square foot single-family residence and a 332-square foot casita on a hillside lot located at 1961 Vista Palizada (APN: 504-400-011), subject to the conditions of approval attached herein as Exhibit A.

ADOPTED this 21st day of October, 2024.

AYES:

EXCUSED:

ABSENT:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

Christopher Hadwin
Director of Planning Services

RESOLUTION NO. _____

EXHIBIT A

Cases No. AR-2024-0027 & AMM-2024-0002

1961 Vista Palizada
(APN: 504-400-011)

October 21, 2024

CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, Director of Planning Services, Building Official, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

ADMINISTRATIVE CONDITIONS

- ADM 1. Project Description. This approval is for the project described per Case AR-2024-0027 and Case AMM-2024-0002 except as modified by the conditions below.
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, which include site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Department of Planning Services except as modified by the conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning Services or his designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its

legislative body, advisory agencies, or administrative officers concerning Case AR-2024-0027 and Case AMM-2024-0002. The City of Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

- ADM 6. Time Limit on Approval. Approval of the Major Architectural Application (MAJ) shall be valid for a period of two (2) years from the effective date of the approval. An Extension of Time may be granted by the Planning Commission upon demonstration of good cause in accordance with Palm Springs Zoning Code Section 94.12.00.

ENVIRONMENTAL ASSESSMENT CONDITION

- ENV 1. Notice of Exemption (NOE). The project is exempt from the review of the California Environmental Quality Act (CEQA). The applicant shall contact the Department of Planning Services within two (2) days of the ARC's final action on the project to submit the NOE filing fee.
- ENV 2. Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP). The project shall be in conformance with the CVMSHCP Land Use Adjacency Guidelines and shall be subject to the following conditions:
- a) Drainage. The drainage plan shall be designed to ensure that the quantity and quality of runoff discharged to the adjacent Conservation Area is not altered in an adverse way when compared with existing conditions. Stormwater systems shall be designed to prevent the release of toxins, chemicals, petroleum products, exotic plant materials or other elements that might degrade or harm biological resources or ecosystem processes within the adjacent Conservation Area.
 - b) Toxics. Activities that involve the use of chemicals or generate bioproducts such as manure that are potentially toxic or may adversely affect wildlife and plant species, Habitat, or water quality is prohibited.
 - c) Lighting. The exterior lighting shall be shielded and directed toward the project site. Landscape shielding or other appropriate methods shall be

incorporated in project designs to minimize the effects of lighting adjacent to or within the adjacent Conservation Area.

- d) Noise. All on-site activities shall conform to the City's Noise Ordinance, including the maximum noise level (50 dBA) permitted in the Palm Springs Municipal Code.
- e) Invasives. Installation of invasive, non-native plant species shall not be incorporated in the landscape for land uses. Landscape treatments within or adjacent to a Conservation Area shall incorporate native plant materials to the maximum extent Feasible; recommended native species are listed in Table 4-112. The plants listed in Table 4-113 shall not be used within or adjacent to a Conservation Area.

PLANNING DEPARTMENT CONDITIONS

- PLN 1. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit landscape and irrigation plans that are prepared according to the requirements of PSMC Chapter 8.60 to the Department of Development Services for review and approval prior to the issuance of a building permit. The Landscape plan shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Additionally, the landscape and irrigation plans shall be certified by the local water agency that they are in conformance with the State's Water Efficient Landscape Ordinances.
- PLN 2. Metal Fence/Pool Enclosure. The height of the pool enclosure and gate shall be 5 feet to meet the Building Code.
- PLN 3. Pad Elevations. Final building pad elevations shall not vary more than 12 inches above or below the pad elevation established by the approved preliminary grading plan. Any deviations from this provision shall require review and approval by the Architectural Review Committee.
- PLN 4. Submission of Revised Landscape Plan Required. Applicant shall submit a revised landscape plan which addresses the conditions of approval above to the Department of Planning Services for a final review.
- PLN 5. Landscape. The application shall plant an additional three (3) trees along the frontage of the property to provide adequate shade to the pedestrian pathway.

BUILDING & SAFETY DEPARTMENT CONDITIONS

The Following Standard Building & Safety Conditions of Approval Are Applicable to This Project:

General Conditions

BLDG 1. Shall comply with the latest adopted edition of the following codes as applicable:

- A. 2022 California Residential Code
- B. 2022 California Electrical Code
- C. 2022 California Mechanical Code
- D. 2022 California Plumbing Code
- E. 2022 California Energy Code
- F. 2022 California Fire Code
- G. 2022 California Green Building Standards Code

BLDG 2. Any temporary building, trailer, commercial coach, etc. installed and/or used in connection with a construction project shall comply with City Code.

BLDG 3. All development impact fees including but not limited to TUMF, CVMSHCP, Sewer Connection/Agreements etc. and/or Public Arts shall be paid at time of permit issuance.

BLDG 4. Separate permits shall be required for the pool enclosure and the installation of solar panels; the enclosure shall be a minimum of 5 feet in height and non-climbable.

ENGINEERING DEPARTMENT CONDITIONS

The Engineering Division recommends that if this application is approved, such approval is subject to the following conditions being completed in compliance with City standards and ordinances.

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer.

All Grading Plans, Improvement Plans, Required Studies and Documents listed below, must be submitted to Engineering Services Department for review and approval.

Conditions, whether or not restated by Engineering shall conform to the Desert Palisades Specific Plan

GENERAL

ENG 1. The applicant shall comply with all required Standard Conditions and Mitigation Measures identified in the Final Environmental Impact Report for the Desert Palisades development, as applicable to the individual lots, whether or not

restated in these conditions of approval. All required plans shall be prepared in conformance with all applicable Standard Conditions and Mitigation Measures.

- ENG 2. Development of the site is subject to all applicable provisions of Chapter 92.21.1.05 "Design Standards" of the Palm Springs Zoning Code, whether or not restated in these conditions of approval. All required plans shall be prepared in conformance with all applicable provisions of the Code.
- ENG 3. The Property is located in the Environmentally Sensitive Area – Specific Plan ("ESA-SP") zone. Pursuant to Section 92.21.1.05(J) of the Palm Springs Zoning Code, prior to the issuance of any permit for grading or construction of any improvement on any property within the ESA-SP zone, the property owner shall enter into an agreement with the City ensuring that should the improvement not be completed as permitted, that the land will be re-naturalized. A current title report; or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. Security Bond (\$50,000.00) and agreement preparation fee in effect at the time that the agreement is submitted shall be paid by the applicant prior to issuance of any grading or building permits.

SANITARY SEWER

- ENG 4. All sanitary facilities shall be connected to the private sewer system. New laterals shall not be connected at manholes.
- ENG 5. Applicant shall pay a sewer assessment fee of \$3,628.77 in accordance with the terms of the Racquet Club Road Sewer Construction Refund Agreement between the City of Palm Springs and the Pirozzi Family Trust Established November 30, 1992, Sewer Agreement No. 6253. The fee shall be paid to the City of Palm Springs prior to issuance of a building permit.

GRADING

- ENG 6. Submit a Precise Grading Plan prepared by a California licensed civil engineer to the Engineering Services Department for review and approval. If the overall project grading volumes are less than 50 cubic yards and the project does not involve a hillside lot as defined by City of Palm Springs Zoning Code 93.13.00, then the plan does not need to be prepared by a licensed professional unless determined otherwise by the City Engineer. The plan shall be approved by the City Engineer prior to grading permit issuance.
 - a. A Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Services Department for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal

- Code, and shall be required to utilize one or more “Coachella Valley Best Available Control Measures” as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant’s or its contractor’s Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Services Department with current and valid Certificate(s) of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related “PM10” Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Services Department prior to approval of the Grading plan.
- b. The first submittal of the Grading Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of Soils Report; and a copy of the associated Hydrology Study/Report; a copy of the project-specific Final Water Quality Management Plan.
- ENG 7. Prior to approval of a Grading Plan (or issuance of a Grading Permit), the applicant shall obtain written approval to proceed with construction from the Agua Caliente Band of Cahuilla Indians, Tribal Historic Preservation Officer or Tribal Archaeologist (a copy of the written approval must be provided to the City). The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at ACBCI-THPO@aguacaliente.net to determine their requirements, if any, associated with grading or other construction. The applicant is advised to contact the Tribal Historic Preservation Officer or Tribal Archaeologist as early as possible. If required, it is the responsibility of the applicant to coordinate scheduling of Tribal monitors during grading or other construction, and to arrange payment of any required fees associated with Tribal monitoring.
- ENG 8. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed after issuance of Grading Permit, and immediately prior to commencement of grading operations.
- ENG 9. Temporary dust control perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.

- ENG 10. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ENG 11. In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of eight hundred dollars (\$800) (if there is disturbance of 5,000 square feet or more) at the time of issuance of grading permit for mitigation measures for erosion/blowsand relating to this property and development.
- ENG 12. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Services Department with the first submittal of a grading plan.
- ENG 13. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved grading plan shall be certified by a California registered geotechnical or civil engineer, certifying that all grading was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be provided even though there may not be a grading plan for the project. Prior to issuance of Building Permits.
- ENG 14. The applicant shall provide Grading Certification for all building (or structure) pads in conformance with the approved grading plan to the Engineering Services Department for review and approval prior to issuance of Building Permits.
- ENG 15. Prior to issuance of any permit for ground disturbance activities, the applicant shall provide verification to the City that applicable fees have been paid to the Agua Caliente Band of Cahuilla Indians in accordance with the Tribal Habitat Conservation Plan (THCP).
- ENG 16. In cooperation with the California Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (Revised - RIFA Form CA-1) prior to approval of the Grading Plan (if required). The California Department of Food and Agriculture office is

located at 6819 East Gage Avenue, Commerce, CA 90040 (Phone (760) 782-3271, (562) 505-6415), Sonia.Oran@cdfa.ca.gov.

WATER QUALITY MANAGEMENT PLAN

- ENG 17. This project shall be required to install measures in accordance with applicable National Pollution Discharge Elimination System (NPDES) Best Management Practices (BMP's) included as part of the NPDES Permit issued for the Whitewater River Region from the Colorado River Basin Regional Water Quality Control Board (RWQCB). The applicant is advised that installation of BMP's, including mechanical or other means for pre-treating contaminated stormwater and non-stormwater runoff, shall be required.
- ENG 18. A Final Project-Specific Water Quality Management Plan (WQMP) shall be submitted to and approved by the City Engineer prior to issuance of a grading or building permit. The WQMP shall address the implementation of operational Best Management Practices (BMP's) necessary to accommodate nuisance water and storm water runoff from the site. Direct release of nuisance water to the adjacent property (or public streets) is prohibited. Construction of operational BMP's shall be incorporated into the Precise Grading and Paving Plan.
- ENG 19. Prior to issuance of any grading or building permits, the property owner shall record a "Covenant and Agreement" with the County-Clerk Recorder or other instrument on a standardized form to inform future property owners of the requirement to implement and maintain the approved Final Project-Specific Water Quality Management Plan (WQMP). Other alternative instruments for requiring implementation of the approved Final Project-Specific WQMP include: requiring the implementation of the Final Project-Specific WQMP in Home Owners Association or Property Owner Association Covenants, Conditions, and Restrictions (CC&Rs); formation of Landscape, Lighting and Maintenance Districts, Assessment Districts or Community Service Areas responsible for implementing the Final Project-Specific WQMP; or equivalent. Alternative instruments must be approved by the City Engineer prior to issuance of any grading or building permits.

DRAINAGE

- ENG 20. In accordance with Chapter 92.21.1.05 "Design Standards" of the Palm Springs Zoning Code, development of the site shall preserve existing drainage patterns, natural streams and local watershed boundaries.
- ENG 21. All stormwater runoff passing through the site shall be accepted and conveyed across the property in a manner acceptable to the City Engineer. For all stormwater runoff falling on the site, on-site retention or other facilities approved by the City Engineer shall be required to contain the increased

stormwater runoff generated by the development of the property, as described in the Preliminary Hydrology Report for TTM35540, prepared by MSA Consulting, Inc., dated July 1, 2009 (or as may be amended). Final retention basin sizing and other stormwater runoff mitigation measures shall be determined upon review and approval of the hydrology study by the City Engineer and may require redesign or changes to site configuration or layout consistent with the findings of the final hydrology study.

ENG 22. This project will be required to install measures in accordance with applicable National Pollution Discharge Elimination System (NPDES) Best Management Practices (BMP's) included as part of the NPDES Permit issued for the Whitewater River Region from the Colorado River Basin Regional Water Quality Control Board (RWQCB). The applicant is advised that installation of BMP's, including mechanical or other means for pre-treating stormwater runoff, will be required by regulations imposed by the RWQCB. It shall be the applicant's responsibility to design and install appropriate BMP's, in accordance with the NPDES Permit, that effectively intercept and pre-treat stormwater runoff from the project site, prior to release to the City's municipal separate storm sewer system ("MS4"), to the satisfaction of the City Engineer and the RWQCB. Such measures shall be designed and installed on-site; and provisions for perpetual maintenance of the measures shall be provided to the satisfaction of the City Engineer.

ENG 23. The project is subject to flood control and drainage implementation fees. The drainage fee at the present time is \$7,746.89 per acre per Resolution No. 15189.

GENERAL

ENG 24. Any utility trenches or other excavations of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115. The developer shall be responsible for removing, replacing, or repairing any existing off-site streets as required by and at the discretion of the City Engineer, including additional pavement repairs to pavement repairs made by utility companies for utilities installed for the benefit of the proposed development (i.e. Desert Water Agency, Southern California Edison, Southern California Gas Company, Time Warner, Frontier, etc.). Multiple excavations, trenches, and other street cuts within existing structural sections of off-site streets required by the proposed development may require complete removal and replacement of the streets structural section of the affected off-site streets, at the discretion of the City Engineer. The pavement condition of the existing off-site streets shall be returned to a condition equal to or better than existed prior to construction of the proposed development.

ENG 25. All proposed utility lines shall be installed underground.

- ENG 26. All existing utilities shall be shown on the improvement plans required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.
- ENG 27. Upon approval of any improvement plan by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD drawing file) and PDF (Adobe Acrobat) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval of the City Engineer.
- ENG 28. The original improvement plans prepared for the proposed development and approved by the City Engineer shall be documented with record drawing “as-built” information and returned to the Engineering Division prior to issuance of final approvals. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.
- ENG 29. Nothing shall be constructed or planted in the corner cut-off area of any intersection or driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.

TRAFFIC

- ENG 30. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 “Temporary Traffic Control” of the California Manual on Uniform Traffic Control Devices (CAMUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.
- ENG 31. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

FIRE DEPARTMENT CONDITIONS

These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire codes. Detailed plans are still required for review. Conditions are subject to final plan check and review.

Fire Department Conditions were based on the 2022 California Fire Code as adopted by City of Palm Springs, Palm Springs Municipal Code, PSFD Appendix “T” Development Requirements. This building will require fire sprinklers.

FIR. 1 **Conditions of Approval** – “Conditions of Approval” received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.

FIR. 2 **Plans and Permits:**
Permits and Electronic scaled drawings are required for this project. Plan reviews can take up to 20 working days.

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer’s technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall include all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supporting data, (calculations and manufacturers technical data sheets) including fire flow data, shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

FIR. 3 **Access During/After Construction:** Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 24 feet and an unobstructed vertical clearance of not less than 13'-6". Fire Department access roads shall have an all-weather driving surface and support a minimum weight of 73,000 lbs.

FIR. 4 **Chapter 7A:** Since the proposed residence is in our city’s very high fire area, the architect on record must design structure 7A.

FIR. 5 **Private Fire Hydrants:** Additional private hydrants may be required.

FIR. 6 **NFPA 13D Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13D, 2022 Editions, as modified by local ordinance.

FIR. 7 **Residential Smoke Alarms Required:** Shall be interconnected so that operation of any smoke alarm or fire sprinkler flow switch causes all smoke alarms within the dwelling & guest house to sound and activate the exterior horn/strobe

END OF CONDITIONS

JUSTIFICATION LETTER

PROJECT DESCRIPTION:

SITE PLAN:

THE PROPOSED HOME WILL BE LOCATED ON LOT 67 WHICH SLOPES DOWNWARD ROUGHLY TEN (10') FEET FROM WEST TO EAST WITH AN ELEVATION OF 876' AT THE HIGHER WESTERN PROPERTY LINE AND 866' AT THE STREET CURB. THERE IS A LARGE OPEN SPACE THAT RUNS ALONG THE SOUTHERN PROPERTY LINE AND A 7'5" EASEMENT ON THE NORTHERN PROPERTY LINE.

LIKE MOST LOTS IN DESERT PALISADES, THE SITE IS COVERED WITH MANY LARGE ROCKS AND BOULDERS AND HAS NOT BEEN PREVIOUSLY DEVELOPED OR GRADED.

THE ORIENTATION OF THE STRUCTURE IS POSITIONED TO TAKE ADVANTAGE OF UNOBSTRUCTED VIEWS. IN ORDER TO MINIMIZE THE SITE GRADING, AND TO FIT THE DESIGN UNDER THE 18FOOT PILLOW LINE WE REQUIRE A FRONT SETBACK REDUCTION WHERE THE SOUTH-EAST GARAGE CORNER WILL BE PLACED.

THE PROJECT USES THE SITE'S NATURAL SLOPE FROM THE REAR OF THE PROPERTY TO THE FRONT BY SETTING THE PAD OF EACH STRUCTURE IN DIFFERENT ELEVATIONS STEEPING DOWN TOWARDS THE STREET. THE ADJACENT GRADE OF EACH STRUCTURE IN THE MULTIPLE LEVELS IS NOT MORE THAN 18 FEET FROM THE TOP OF THE ROOF AND THE MAXIMUM OVERALL HEIGHT FROM LOWEST FLOOR ELEVATION TO HIGHEST ROOF ELEMENT WILL BE 18FT 7".

THE 1ST (2) CAR GARAGE AND CASITA WILL BE ELEVATED THREE FEET (0.5') FROM THE STREET CURB ELEVATION. THE 2ND (2) CAR GARAGE WILL BE ELEVATED FOUR FEET (1.5') FROM THE STREET LEVEL (OR 1FT FROM THE 1ST 2 CAR GARAGE) AND THE MAIN RESIDENCE AND OPEN SPACE WILL BE ELEVATED SEVEN FEET (4.5') FROM THE STREET CURB LEVEL (OR 3FT FROM THE 2ND 2 CAR GARAGE). IN ORDER TO ENHANCE THE STREETScape AND MAINTAIN A DOMESTIC SCALE TO THE ENTRY ZONE, GARAGE DOORS OPENINGS ARE ORIENTED AWAY FROM THE STREET AND OPEN TO AN AUTO COURT.

THE PROPOSED MAIN STRUCTURE WILL BE ONE-LEVEL AND CONSIST OF THREE (3) BEDROOMS, ONE (1) OFFICE, ONE (1) GYM AND THREE AND A HALF (3.5) BATHROOMS. THE GREAT ROOM/KITCHEN WILL OPEN ONTO A LARGE PATIO WITH COVERED BBQ AREA AND AN INFINITY POOL AND SPA. THE HOUSE AND PATIO / POOL ARE ORIENTED TOWARDS SOUTH EAST CORNER PROVIDING VIEWS AND SITTING SEVEN (4.23') FEET ABOVE THE STREET.

THE PROPOSED CASITA (ADU) WILL BE ON ONE LEVEL AND CONSIST OF ONE (1) BEDROOM WHICH CONTAINS A BAR, ONE (1) BATHROOM AND A POOL BATH WITH ITS OWN PRIVATE PATIO FACING SOUTH-EAST AND SITTING THREE FEET (0.7') ABOVE THE STREET.

MASS AND SCALE:

THE PROPOSED HOUSE WILL HAVE A MAXIMUM HEIGHT OF EIGHTEEN FEET THREE INCHES (18'3") AS MEASURED FROM THE ESTABLISHED PAD OF THE 1ST GARAGE TO THE TOP OF THE GREAT ROOM ROOF OF THE MAIN RESIDENCE. IT WILL MEASURE TWENTY-TWO FEET AND TWO INCHES (22'-2") FROM THE NATURAL GRADE (863) OF THE FIRST GARAGE TO THE TOP OF THE GREAT ROOM ROOF OF THE MAIN RESIDENCE. EACH STRUCTURE WITH DIFFERENT PAD ELEVATIONS AND CEILINGS PROVIDES A RHYTHM TO

THE WHOLE PROJECT, AS WELL AS HORIZONTAL PLANES WITH DIFFERENT MATERIALS WHICH VARY IN HEIGHT FROM EIGHT (8') FEET TO TWELVE (12') FEET.

THE DPSP SETS LIMITS ON THE OVERALL HEIGHT RELATIVE TO THE NATIVE TERRAIN ALLOWING FOR A MAXIMUM HEIGHT OF EIGHTEEN (18) FEET WITHIN A "PILLOW" AREA. THE BUILDING CONFORMS TO THE EIGHTEEN (18') FOOT PILLOW CONCEPT AND THE PROPOSED STRUCTURE MEETS THIS GUIDELINE TO SOME GRADING / RETAINING WALLS WILL BE REQUIRED TO PRESERVE THE NATURAL SITE AFTER CONSTRUCTION.

BUILDING DESIGN AND DETAILING:

THE HOME IS CONTEMPORARY IN ITS ARCHITECTURAL STYLE WITH BUILDING MATERIALS REFLECT THE DESERT CHARACTER OF PALM SPRINGS BY USING NATURALLY EXPRESSED INORGANIC MATERIALS SUCH AS STACKED MASONRY BLOCK AT GARAGES AND CASITA ACCENT WALLS, SMOOTH STUCCO IN DOVE GRAY COLOR FOR THE MAIN BODY OF THE HOUSE WITH WOOD SLATS ACCENT WALLS OR SIMILAR AND DARK ACCENTS PROVIDED BY WINDOW FRAMES, TRIM AND EAVE BRAKE METAL IN A BLACK COLOR.

LANDSCAPING:

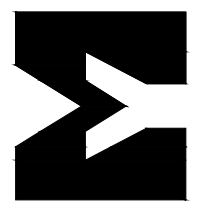
THE LANDSCAPE CONCEPT IS ONE OF KEEPING THE SITE AS NATURAL AS POSSIBLE AND INCORPORATING THE EXISTING BOULDERS AND ROCKS THROUGH THE DESIGN.. THE INTENT OF THE PLANT MATERIALS PROPOSED IS TO LOOK AND FEEL LIKE THE DESERT SETTING OF THE CHINO CONE BY STRATEGICALLY GROUPING NATIVE PLANT SPECIES THROUGHOUT THE SITE. SPECIFIC PLANTS PROPOSED INCLUDE PARKINSONIA FLORIDA, PALO BREA TREES; SHRUBS SUCH AS MUHLENBERGIA CAPILLARIS, BRITTLE BUSH AND LANTANA; SUCCULENTS SUCH AS AGAVE, ALOE; AND CACTUS PACHYCEREUS MARGINATUS AND MULTIPLE TYPES OF BARREL CACTUS. THE DRIVEWAY WILL UTILIZE EXPOSED AGGREGATE CONCRETE IN TAN - GREY COLORS.

NEW CONSTRUCTION - 1961 VISTA PALIZADA DR - PALM SPRINGS, CA 92262.



RESPONSIBLE PARTY FOR
ARCHITECTURAL DRAWINGS

MY GENERAL CONSTRUCTION INC.
LICENSE: # 1029959
ADDRESS: 160 NORTH LURING DRIVE, SUITE C
PALM SPRINGS, CA 92262
PHONE: 760.864.7364



APPLICANT

CONTRACTOR

FREEMAN RESIDENCE
PROJECT ADDRESS:
1961 VISTA PALIZADA DR, PALM SPRINGS, CA 92262.
OWNER: CHRIS AND NANCY FREEMAN

PROJECT INFO

DATE	DESCRIPTION	REVISION

PLAN CHECK

3D IMAGES

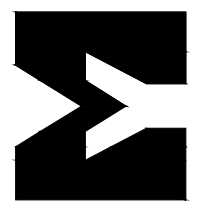
AD.1

NEW CONSTRUCTION - 1961 VISTA PALIZADA DR - PALM SPRINGS, CA 92262.



RESPONSIBLE PARTY FOR
ARCHITECTURAL DRAWINGS
MICHAEL YAKOVICH
LICENSE # 1029958

MY GENERAL CONSTRUCTION INC.
LICENSE # 1029959
ADDRESS : 160 NORTH LURING DRIVE, SUITE C
PALM SPRINGS | CA 92262
PHONE : 760 . 864 . 7364



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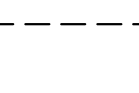

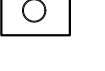

3D IMAGES



LANDSCAPE SCHEDULE:

-  PALO VERDE - PARKINSONIA FLORIDA
15 GAL
-  SILVER YUCCA - YUCCA ROSTRATA
15 GAL
-  MADAGASCAR PALM TREE - PACHYPODIUM LAMEREI
5" GAL
-  SAFARI SUNRISE ALOE - ALOE HYBRID PP23267
5 GAL
-  LINEAR LEAF YUCCA - YUCCA LINEARIFOLIA
5 GAL
-  AGAVE AMERICANA - AGAVE SISALANA PERRINE
10 GAL
-  AGAVE ANGUSTIFOLIA - CARIBBEAN AGAVE
5 GAL
-  GOLDEN BARREL CACTUS - ECHINOCACTUS GRUSONII
12" DIAM
-  ORGAN PIPE CACTUS - STENOCEREUS THURBERI
5 GAL

LIGHTING SCHEDULE:

-  FB-3LED - UPLIGHT FIXTURE
-  TRANSFORMER
-  SRP STRIP LIGHT 2700K
PHOTOMETRIC
-  VK LED WALL LIGHT
2700 K WARM
PHOTOMETRIC
-  4 INCH RECESSED LIGHT- LOW VOLTAGE IC NEW
CONSTRUCTION LED LIGHT - EXTERIOR LOCATIONS.
(RECESSED CAN SHALL BE IC LISTED , AIR-TIGHT LABELED
AND NOT BE EQUIPPED WITH A STANDARDS MEDIUM BASE
SCREW SHELL LAMP HOLDER) -
- 

NOTES:

- ELECTRICIAN IS TO PROVIDE ALL NECESSARY PLANS, SPECIFICATIONS, AND DOCUMENTS, ETC. AND OBTAIN ALL REQUIRED APPROVALS AND PERMITS.
- LIGHTING CONTRACTOR TO COORDINATE WITH IRRIGATION CONTRACTOR FOR LOCATION OF IRRIGATION CLOCK AND LIGHTING TRANSFORMER(S) AWAY FROM PUBLIC VIEW.
- PROVIDE LIGHTING TRANSFORMERS WATTAGE AS NECESSARY WITH PHOTOCELL. PHOTOCELLS ARE TO BE LOCATED IN SUN ACCESSIBLE AREAS.
- UNLESS OTHERWISE PROVIDED BY CONTRACTOR, ELECTRICIAN IS TO SIZE AND CIRCUIT ALL ELECTRICAL REQUIREMENTS SHOWN ON PLANS. (I.E. LIGHTS, PUMPS, POOLS EQUIPMENT, TIME CLOCKS, IRRIGATION CONTROLLERS, ETC..)
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO ALL GOVERNING CODES AND ORDINANCES AND ACCEPTABLE STANDARDS OF PRACTICE.
- COORDINATE ALL WORK, ESPECIALLY SLEEVING, TRENCHING AND BACKFILLING WITH IRRIGATION, CONCRETE AND MASONRY SUBCONTRACTORS AS REQUIRED. THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING SLEEVES UNDER THE HARD SURFACES, USING A 1-INCH PIPE MINIMUM.
- LIGHTING CONTROLLERS WILL BE LOCATED ADJACENT TO IRRIGATION CONTROLLERS WHENEVER POSSIBLE.
- ELECTRICIAN IS TO CONFIRM EXACT TREE LOCATION SO AS TO INSURE PROPER INSTALLATION OF LIGHT FIXTURES.
- ALL JUNCTION BOXES WITHOUT A LIGHT FIXTURE WILL BE PUT IN A CARSON BELOW GRADE.
- JUNCTION BOXES ON WALK LIGHTS ARE TO BE 6" TO 8" ABOVE FINISH GRADE
- LIGHT FIXTURES LOCATED WITHIN (10) TEN FEET FROM EDGE OF WATER FEATURES ARE TO BE EQUIPPED WITH A GFCI
- THE DESIGNER SHALL IN NO WAY BE HELD RESPONSIBLE FOR THE METHODS AND MEANS OF INSTALLATION, SAFETY IN/ON, OR ABOUT THE SITE, PERFORMANCE OF WORK OR TIMELINESS IN WHICH WORK IS PERFORMED.
- THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE FIXTURES AT NIGHT TO ELIMINATE GLARE AND INSURE OPTIMUM LIGHTING EFFECT.
- ALL WIRE SHOULD RUN PARALLEL TO HARD SURFACES, SUCH AS SIDEWALKS, DRIVEWAYS AND WALLS, WHEN POSSIBLE.
- ALL 120 VOLT OUTSIDE ELECTRICAL OUTLETS SHALL BE PROTECTED BY THE GFI AS PER NATIONAL ELECTRICAL CODE.
- THE LIGHTING PLAN IS DIAGRAMMATIC AND IS NOT INTENDED TO SHOW EXACT LOCATION OF CABLE RUNS. THE INSTALLING CONTRACTOR SHALL RUN WIRES TO BEST SUIT FIELD CONDITIONS. AN AS-BUILT PLAN IS TO BE COMPLETED AND LEFT WITH THE OWNER.

RESPONSIBLE PARTY FOR ARCHITECTURAL DRAWINGS
 MY GENERAL CONSTRUCTION INC.
 LICENSE: # 1029959
 ADDRESS: 160 NORTH LURING DRIVE, SUITE C
 PALM SPRINGS | CA 92262
 PHONE: 760 . 864 . 7364
 MICHAEL YAKOVICH
 LICENCE # 1029958

APPLICANT
 CONTRACTOR
 FREEMAN RESIDENCE
 PROJECT ADDRESS: 196 VISTA PALAZADA DR. PALM SPRINGS, CA 92262.
 OWNER: CHRIS AND NANCY FREEMAN

REVISION	DESCRIPTION	DATE

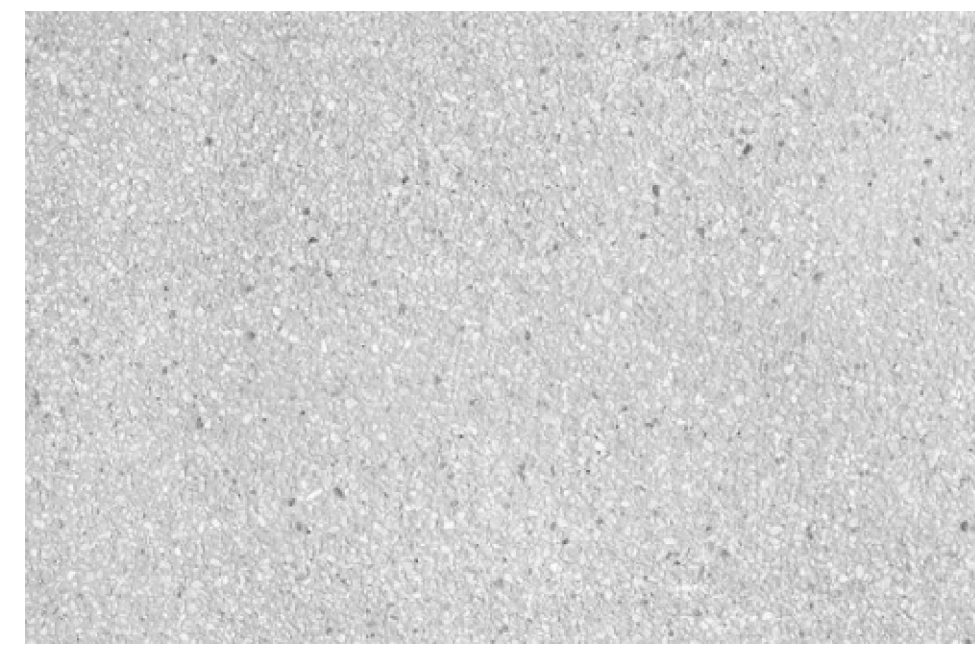
PROJECT INFO
 PLAN CHECK
 LANDSCAPE PLAN
 L.I.O



H-1

STAINED CONCRETE HARDSCAPE, DAVIS COLORS, COBBLESTONE #860 W/ SAND WASHED FINISH

8X8 FT AND 4 X 8 FT SQUARES SEE SHEET A1.0 FOR LAYOUT AND LOCATION



H-2

POOL DECK GRAY WITH EXPOSED AGGREGATE SEE SHEET A1.0 FOR LOCATION



SW-1

ANGELUS BLOCK 6X8X16 PRECISION MEDIUM WEIGHT CMU BLOCK WALL, COLOR: COOL GREY - STACKED BOND, SEALED NATURAL FINISH - SEE SHEET A1.0 FOR LOCATION



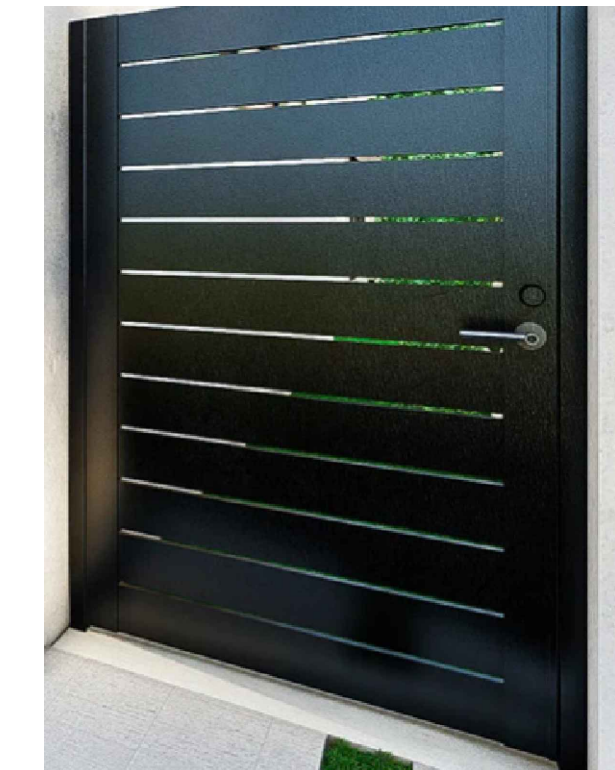
SW-2

CAST IN PLACE CONCRETE RETAINING WALL - SEE SHEET A1.0 FOR LOCATION



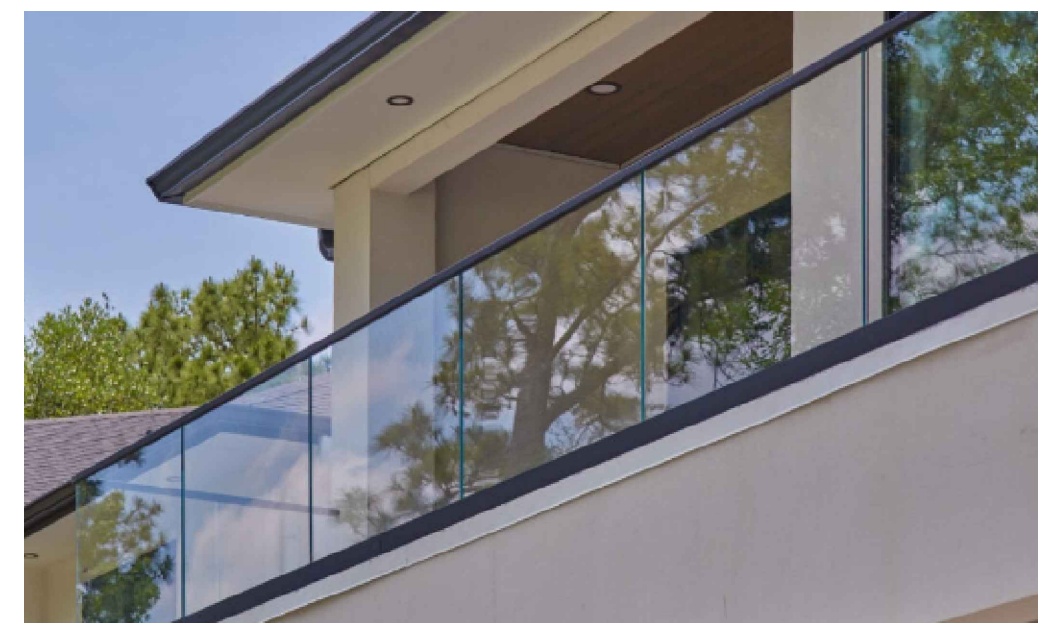
SF-1

3'-6" TALL STEEL FENCE / GUARD - MOUNTED ON BLOCKS ON ONLY 2 SPOTS FOR A ARCHITECTURAL TOUCH AND BREAK LINE OF BRICK WALL SEE SHEET A1.0 FOR LOCATION



SF-2

5' TALL STEEL GATE - WITH SELF LATCHING - CLOSING DEVICE SEE SHEET A1.0 FOR LOCATION



SF-3

3'-6" TALL GLASS GUARDRAIL - GLASS BASE & TOP RAIL - VIEWRAIL OR SIMILAR SEE SHEET A1.0 FOR LOCATION



EW-1 EC-1

3 COAT PORTLAND CEMENT PLASTER SYSTEM W/ MESH ACRYLIC COATING BETWEEN BROWN & FINISH COATS; OVER 2 LAYERS OF BUILDING PAPER & WIRE LATH PER ASTM C 1063 - LIGHT 20% SAND FINISH, INTEGRAL COLOR FINISH COAT; LA HABRA: DOVE GRAY 40

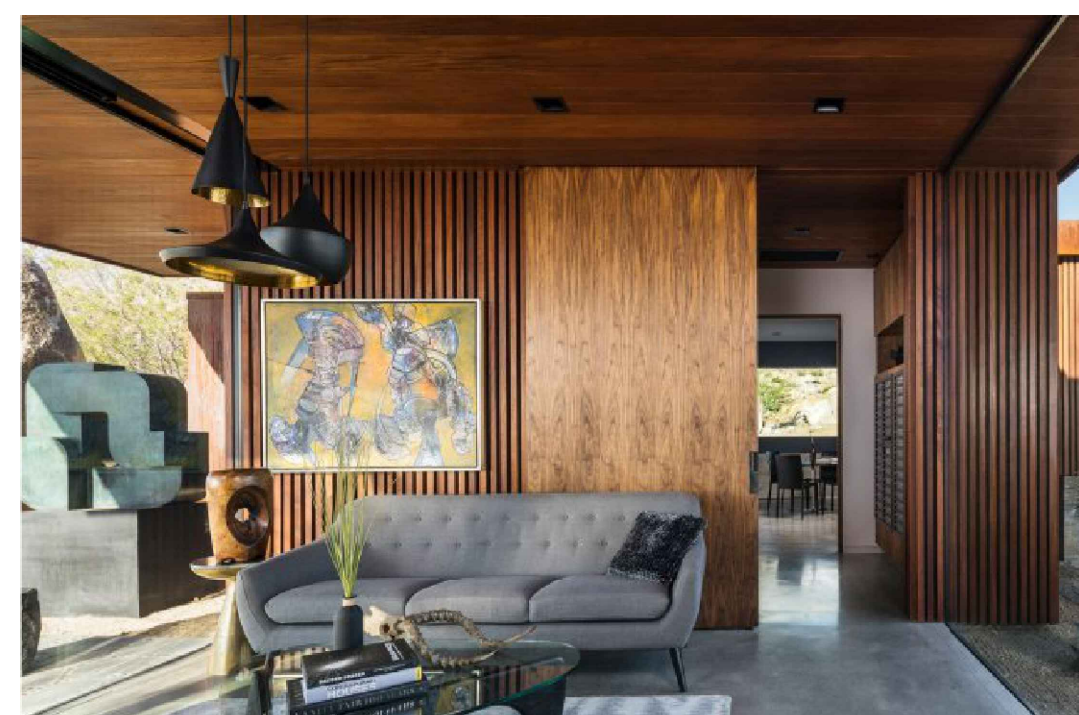
SEE SHEET A1.2 AND ELEVATIONS+ SECTIONS FOR LOCATION



EW-2

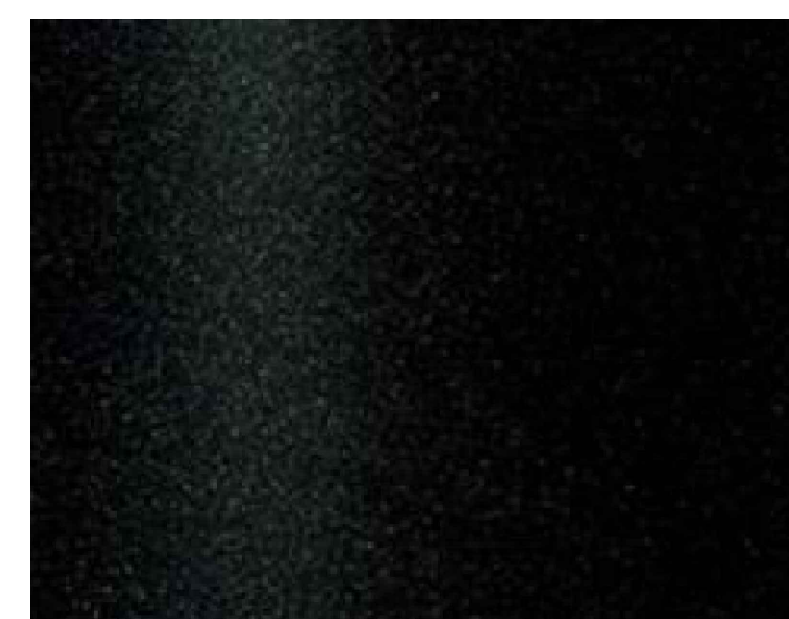
ABOVE GROUND CMU BLOCK WALL: ANGELUS BLOCK, 4 AND 8X8X16 PRECISION MEDIUM WEIGHT, STACK BOND COLOR: COOL GREY, SEALED NATURAL FINISH - SPLIT FACE

SEE SHEET A1.2 AND ELEVATIONS+ SECTIONS FOR LOCATION



EW-3

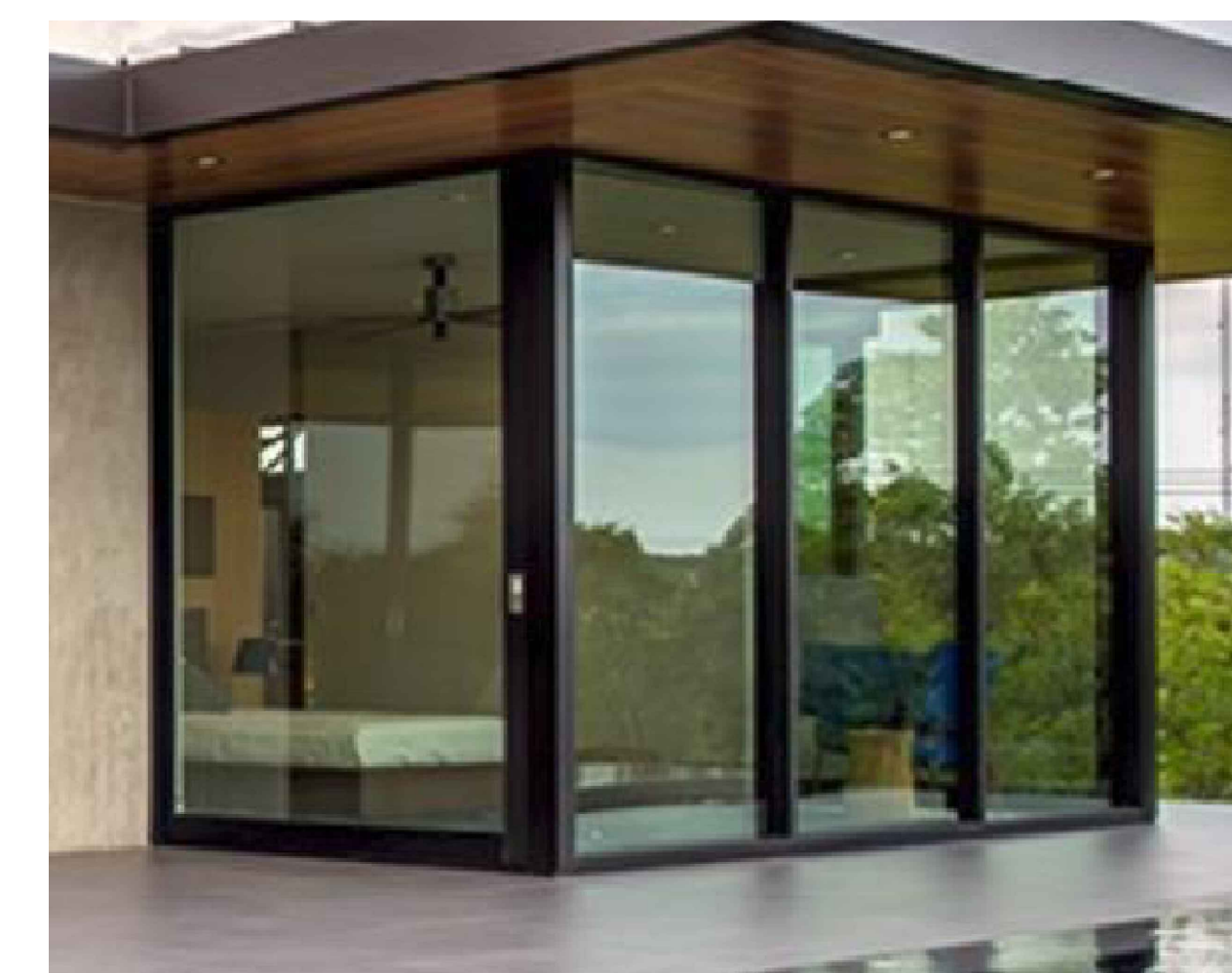
1"x6" GARAPA WOOD SIDING - MFGR: ADVANTAGE LUMBER - COLOR: STAINED MONOCOAT CHOCOLATE



RF-2

SHEET METAL FASCIA - BONDERIZED SHEET METAL - 22 GA., MIN. PAINT DARK BRONZE TO MATCH WINDOW FRAME

SEE SHEET A1.2 AND ELEVATIONS+ SECTIONS FOR LOCATION

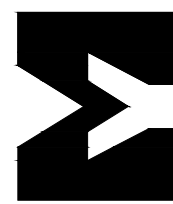


GLASS DOOR AND WINDOWS BRONZE ANODIZED

RESPONSIBLE PARTY FOR ARCHITECTURAL DRAWINGS

MY GENERAL CONSTRUCTION INC. LICENSE: # 1029959 ADDRESS: 160 NORTH LURING DRIVE, SUITE C PALM SPRINGS | CA 92262 PHONE: 760 . 864 . 7364

MICHAEL YAKOVICH LICENSE # 1029958



APPLICANT

CONTRACTOR

FREEMAN RESIDENCE

PROJECT ADDRESS: 196 VISTA PALIZADA DR. PALM SPRINGS, CA 92262.

OWNER: CHRIS AND NANCY FREEMAN

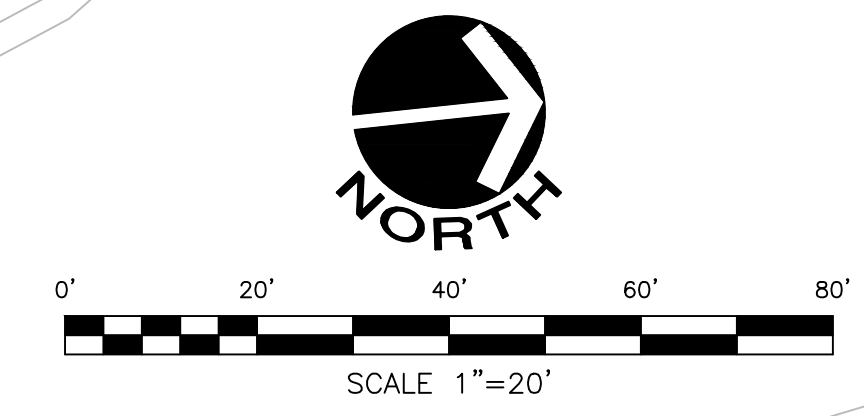
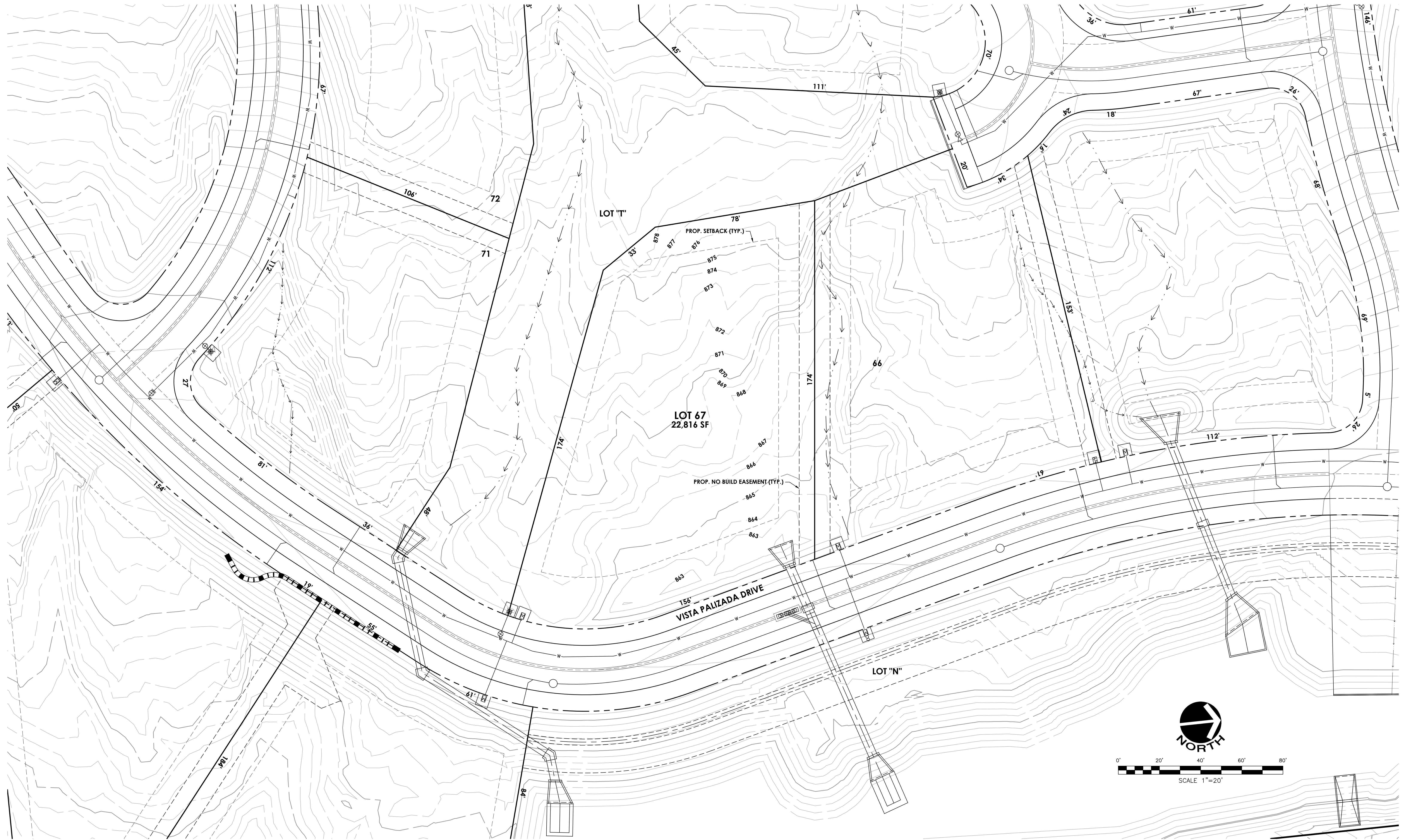
PROJECT INFO

DATE	DESCRIPTION	REVISION

PLAN CHECK

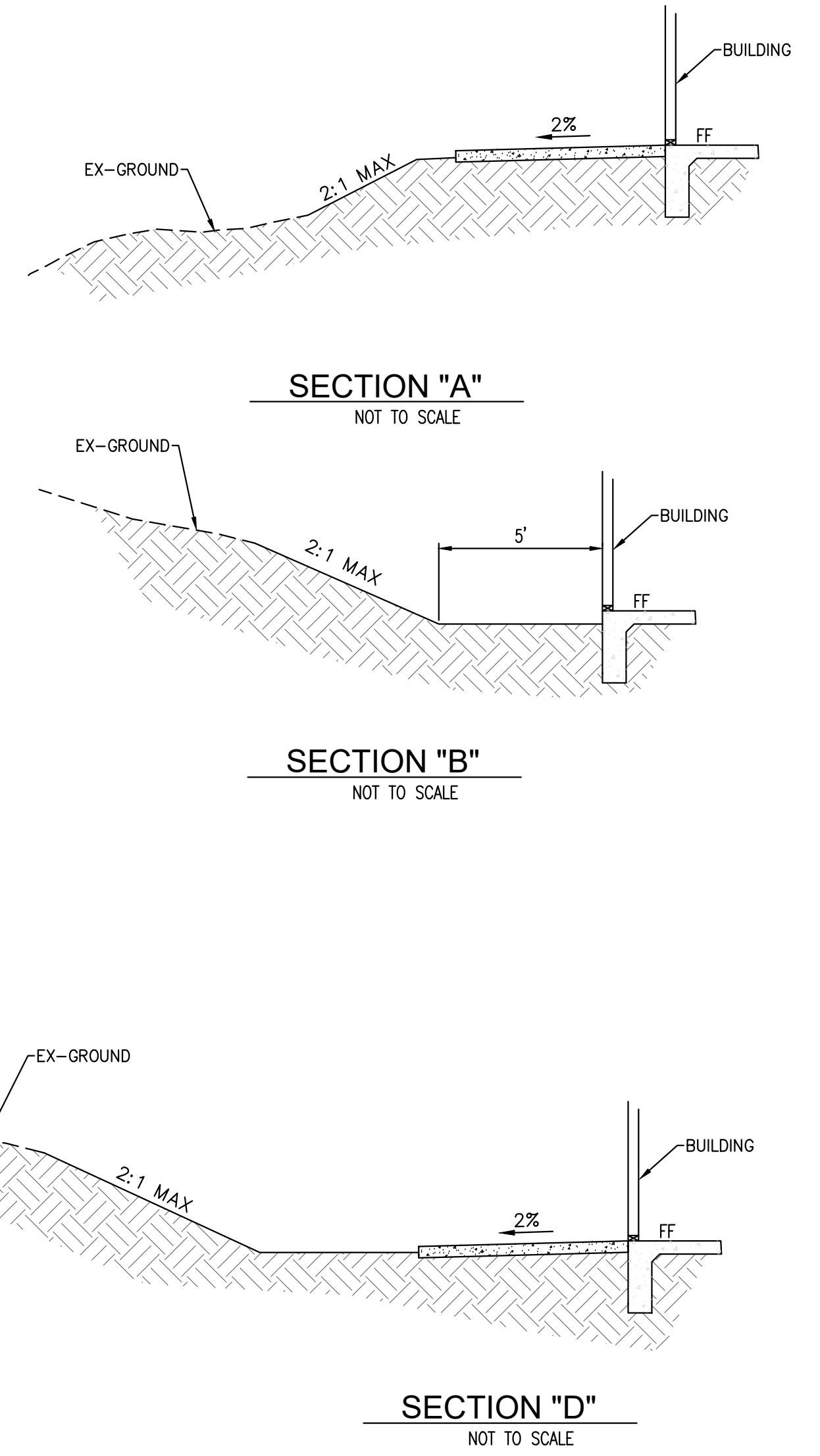
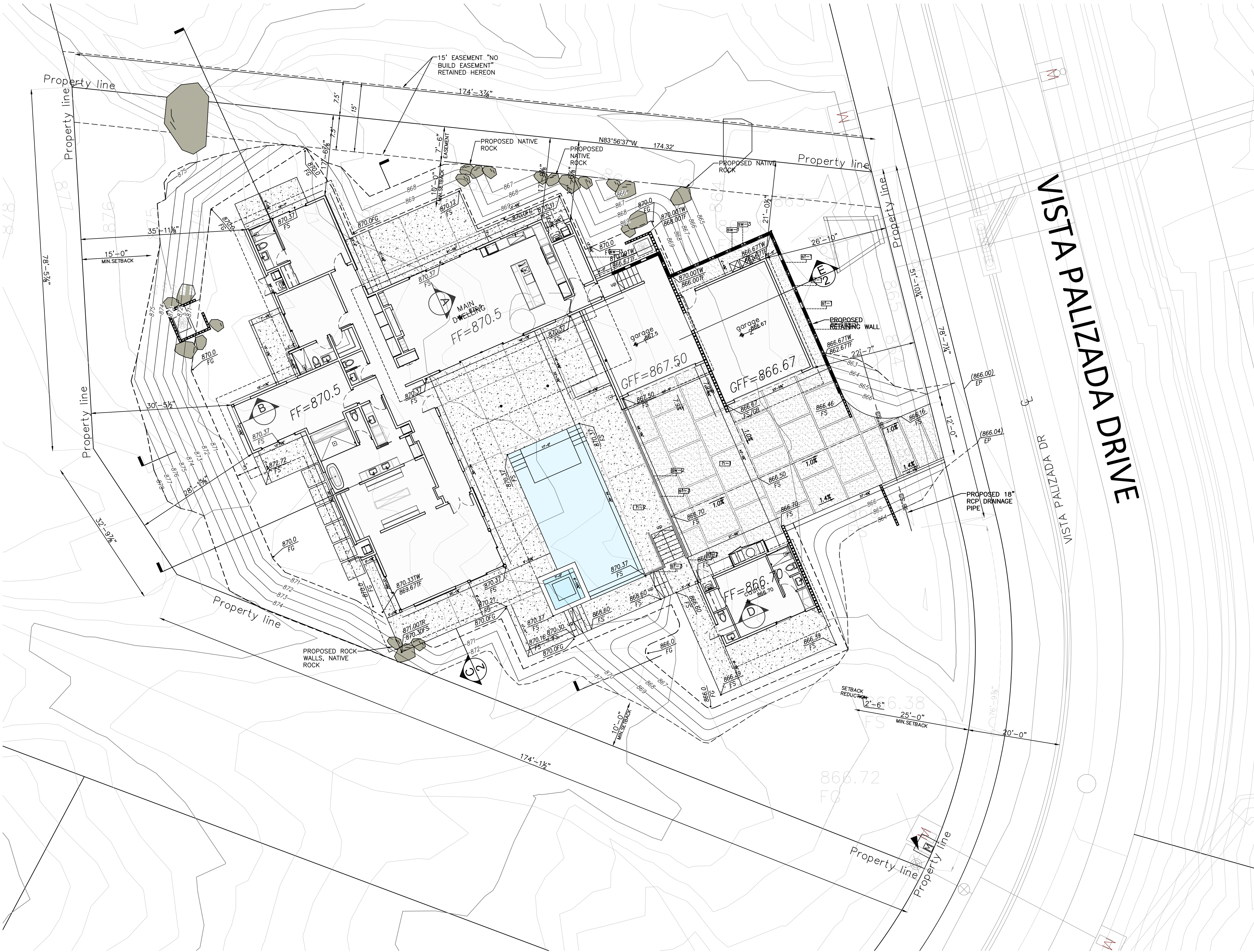
MATERIAL BOARD

1.1

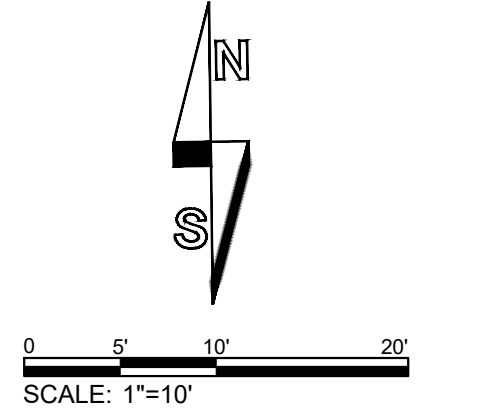


PRELIMINARY GRADING PLAN

67 VISTA PALIZADA DRIVE, PALM SPRING, CA.
TRACT MAP NO. 35540, LOT 67, APN: 504-400-011



VISTA PALIZADA DRIVE



SHEET 1 OF 2



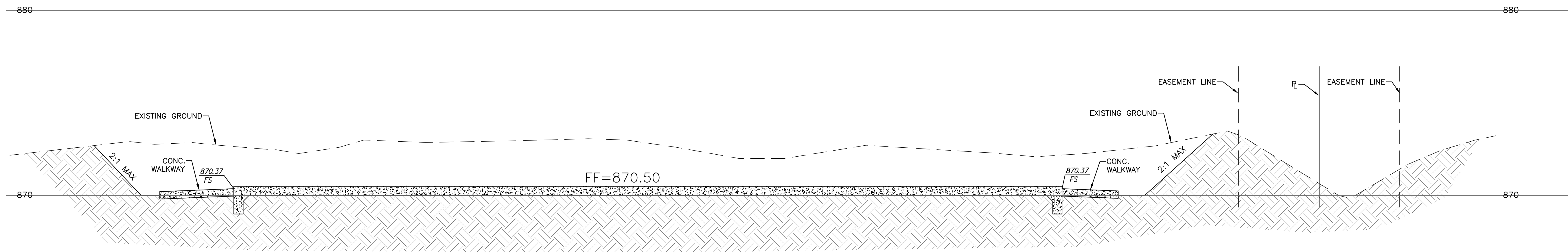
DRP ENTERPRISES LLC
Daniel Patneude
MAILING ADDRESS:
PO Box 4428
Palm Springs, CA 92263
206-734-7765
Joanne C. Singer RCE 26900
760-625-7426



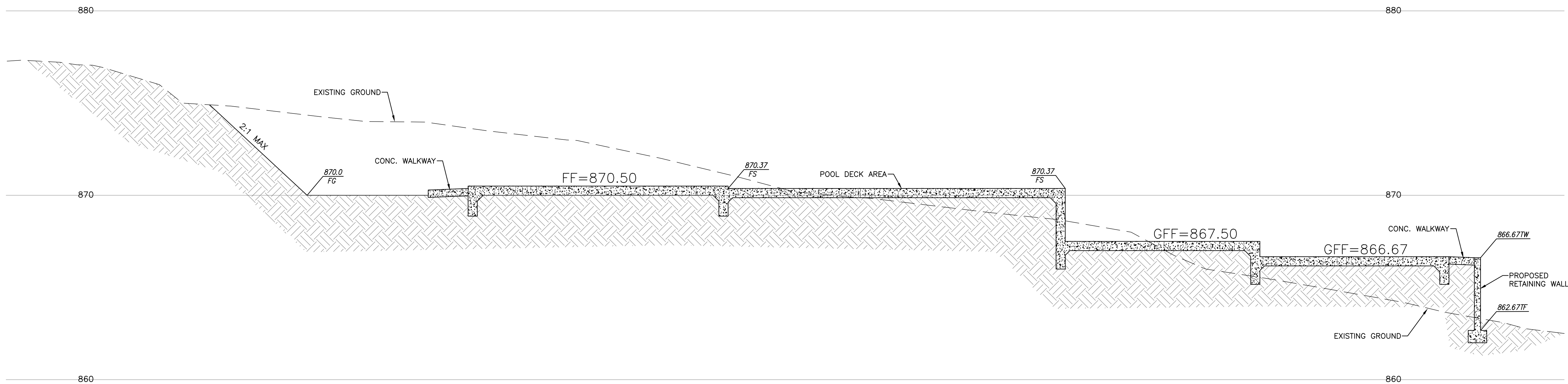
DATE: 7-14-2024

PRELIMINARY GRADING PLAN

67 VISTA PALIZADA DRIVE, PALM SPRING, CA.
TRACT MAP NO. 35540, LOT 67, APN: 504-400-011



SECTION "C"
SCALE: VERT. 1"=3'
HORZ. 1"=6'



SECTION "E"
SCALE: VERT. 1"=3'
HORZ. 1"=6'



STORM WATER DRAINAGE / RETENTION DURING CONSTRUCTION.

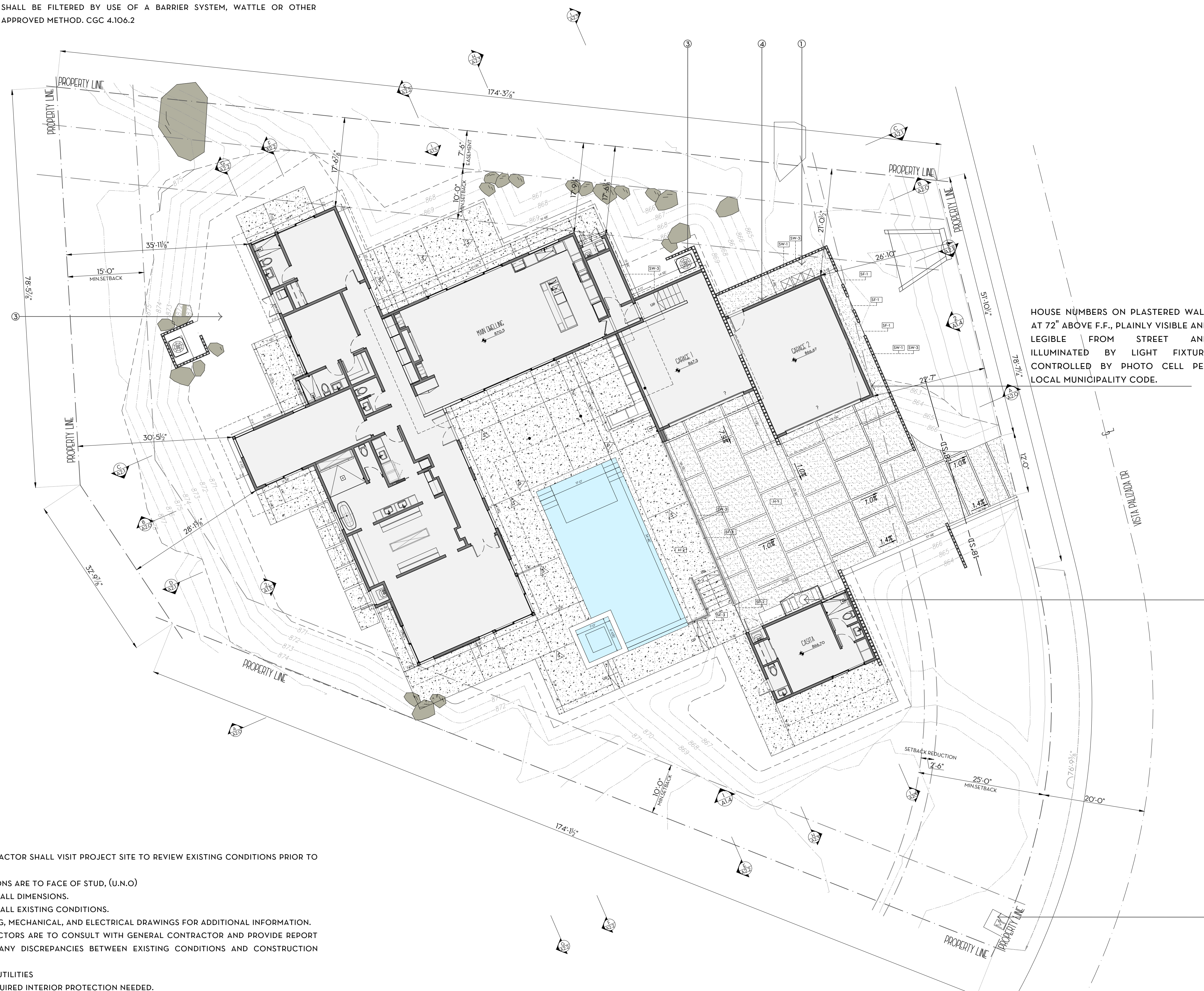
- PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION BY ONE OF THE FOLLOWING:
 - RETENTION BASINS.
 - WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD. CGC 4.106.2

GRADING AND PAVING

- SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS (SWALES, WATER COLLECTION, FRENCH DRAINS, ETC.). CGC 4.106.3 EXCEPTION: ADDITIONS NOT ALTERING THE DRAINAGE PATH

NOTES:

- DOOR THRESHOLD AT EXTERIOR DOORS TO THE EXTERIOR CONCRETE SHALL BE A MAXIMUM OF 7-3/4". CRC R311.3.1
- LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1 1/2" INCHES LOWER THAN THE TOP OF THE THRESHOLD.



HOUSE NUMBERS ON PLASTERED WALL AT 72" ABOVE F.F., PLAINLY VISIBLE AND LEGIBLE FROM STREET AND ILLUMINATED BY LIGHT FIXTURE CONTROLLED BY PHOTO CELL PER LOCAL MUNICIPALITY CODE.

- EACH CONTRACTOR SHALL VISIT PROJECT SITE TO REVIEW EXISTING CONDITIONS PRIOR TO START
- ALL DIMENSIONS ARE TO FACE OF STUD, (U.N.O)
- FIELD VERIFY ALL DIMENSIONS.
- FIELD VERIFY ALL EXISTING CONDITIONS.
- SEE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL CONTRACTORS ARE TO CONSULT WITH GENERAL CONTRACTOR AND PROVIDE REPORT IN WRITING ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS
- LOCATE ALL UTILITIES
- PROVIDE REQUIRED INTERIOR PROTECTION NEEDED.
- MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN AND OR OTHER SOURCES OF MOISTURE.
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED.
- THE CONSTRUCTION SHALL NOT RESTRICT A 5' CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES, OR TO THE LOCATION OF THE HOOKS UP. THE CONSTRUCTION SHALL NOT BE WITH IN 10' OF ANY POWER LINES -WETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY.

HARDSCAPE:

- H-1** STAINED CONCRETE HARDSCAPE, DAVIS COLORS, SILVERSMOKE PIGMENT #8084 W/ SAND WASHED FINISH
- H-2** POOL DECK GRAY WITH EXPOSED AGGREGATE
 - SAWCUT JOINT
 - 1 1/2" PAVER JOINT

WALL:

- SW-1** ANGELUS BLOCK 6X8X16 PRECISION MEDIUM WEIGHT CMU BLOCK WALL, COLOR: COOL GREY - STACKED BOND, SEALED NATURAL FINISH -
- SW-2** CAST IN PLACE CONCRETE RETAINING WALL - SEE STRUCTURAL FOR SIZE BOARD FORMED CONCRETE WALLS (THICKNESS PER STRUCTURAL PLANS) NATURAL SEALED FINISH SEALED W/ SINAK S-102 SEALER UNDERGROUND WATERPROOFING: GRACE BITUTHENE 4000 SYSTEM, PREP. AND PRIME CMU WALL ACCORDING TO MANUF. SPECIFICATIONS COVER BOARD: FOAMULAR INSUL-DRAIN 21 4", R-11.4
- SW-3** ANGELUS BLOCK RETAINING WALL PER STRUCTURAL

- EXPOSED BLOCK WALLS SHALL BE SCREEN WITH BOULDERS
- ALL TOPOGRAPHICAL INFORMATION SHOWN HEREON WAS OBTAINED FROM SURVEYS BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONTOURS AND UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6" WITHIN THE FIRST 10' R401.3

FENCE / GUARDRAILS:

- SF-1** 3'-6" TALL STEEL FENCE
- SF-2** 5' TALL STEEL GATE - WITH SELF LATCHING - CLOSING DEVICE
- SF-3** 3'-6" TALL GLASS GUARDRAIL - GLASS BASE & TOP RAIL -

GATES:

- ANY ACCESS GATES THROUGH THE ENCLOSURE SHALL OPEN AWAY FROM THE SWIMMING POOL AND ARE SELF-CLOSING WITH A SELF-LATCHING DEVICE PLACED NO LOWER THAN 60 INCHES (1524 MM) ABOVE THE GROUND.
- A MINIMUM HEIGHT OF 60 INCHES (1524 MM).
- A MAXIMUM VERTICAL CLEARANCE FROM THE GROUND TO THE BOTTOM OF THE ENCLOSURE OF 2 INCHES (51 MM).
- GAPS OR VOIDS, IF ANY, DO NOT ALLOW PASSAGE OF A SPHERE EQUAL TO OR GREATER THAN 4 INCHES (102 MM) IN DIAMETER.
- AN OUTSIDE SURFACE FREE OF PROTRUSIONS, CAVITIES OR OTHER PHYSICAL CHARACTERISTICS THAT WOULD SERVE AS HANDHOLDS OR FOOTHOLDS THAT COULD ENABLE A CHILD BELOW THE AGE OF FIVE YEARS TO CLIMB OVER.

INSTALL AND PROVIDE AN APPROVED EXIT ALARM.

- INSTALL EXIT ALARMS ON DWELLING DOORS THAT PROVIDE DIRECT ACCESS TO THE POOL, WHICH MAY CAUSE EITHER AN ALARM NOISE OR A VERBAL WARNING.
- ALARMS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL2019
- DEACTIVATION SWITCH SHALL BE LOCATED 54" OR MORE ABOVE THE THRESHOLD OF THE DOOR.
- SOUND SHALL BE CONTINUOUSLY FOR 30 SECONDS WITHIN 7 SECONDS OF THE DOOR OPENING. AND A SOUND PRESSURE LEVEL OF 85 OR HIGHER.
- HAVE A MANUAL DEACTIVATION SWITCH TO DEACTIVATE THE ALARM FOR A SINGLE OPENING NOT TO EXCEED 15 SECONDS.

SCOPE:

- 1 TRASH ENCLOSURE
- 2 POOL EQUIPEMNT
- 3 EQUIPMENT
- 4 MAIN ELECTRIC PANEL
- 5 WATER METER

RESPONSIBLE PARTY FOR ARCHITECTURAL DRAWINGS
MICHAEL YAKOVICH
LICENCE # 1029958

MY GENERAL CONSTRUCTION INC.
LICENSE: # 1029959
ADDRESS: 160 NORTH LURING DRIVE, SUITE C
PALM SPRINGS | CA 92262
PHONE: 760 . 864 . 7364

APPLICANT

CONTRACTOR

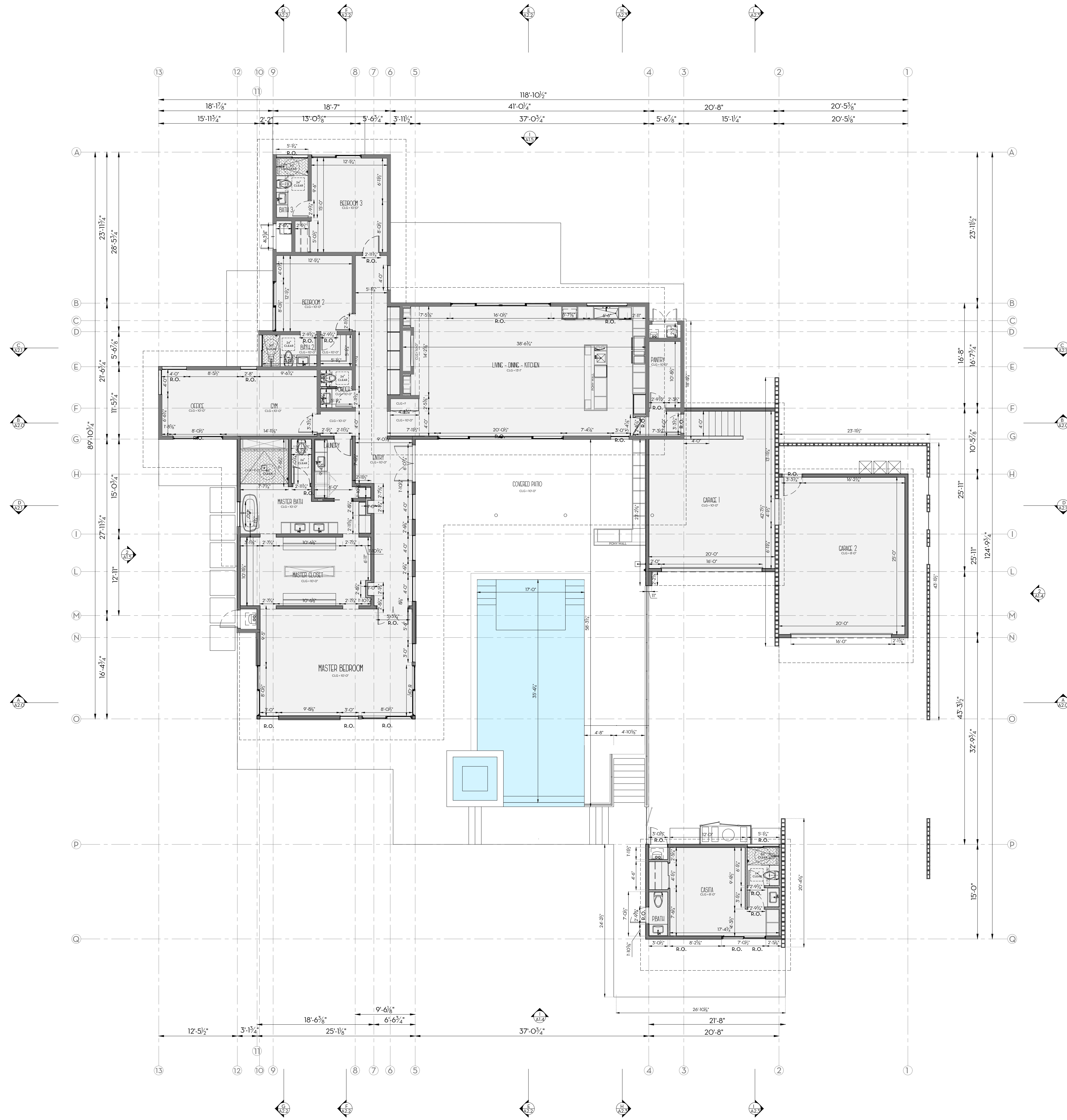
FREEMAN RESIDENCE
PROJECT ADDRESS: 196 VISTA PALAZADA DR. PALM SPRINGS, CA 92262.
OWNER: CHRIS AND NANCY FREEMAN

PROJECT INFO

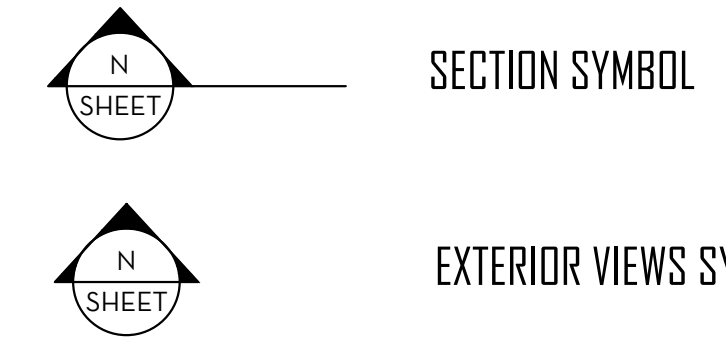
REVISION	DESCRIPTION	DATE

PLAN CHECK

PROPOSED SITE PLAN



- EACH CONTRACTOR SHALL VISIT PROJECT SITE TO REVIEW EXISTING CONDITIONS PRIOR TO START
- ALL DIMENSIONS ARE TO FACE OF STUD, (U.N.O)
- FIELD VERIFY ALL DIMENSIONS.
- FIELD VERIFY ALL EXISTING CONDITIONS.
- SEE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL CONTRACTORS ARE TO CONSULT WITH GENERAL CONTRACTOR AND PROVIDE REPORT IN WRITING ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS
- LOCATE ALL UTILITIES
- PROVIDE REQUIRED INTERIOR PROTECTION NEEDED.
- MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN AND OR OTHER SOURCES OF MOISTURE.
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED.
- THE CONSTRUCTION SHALL NOT RESTRICT A 5' CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES, OR TO THE LOCATION OF THE HOOKS UP. THE CONSTRUCTION SHALL NOT BE WITH IN 10' OF ANY POWER LINES -WETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY.
- A MINIMUM OF 65 PERCENT OF THE CONSTRUCTION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO RECYCLE OR SALVAGE, PER CGBSC 4.408.1



LEGEND:

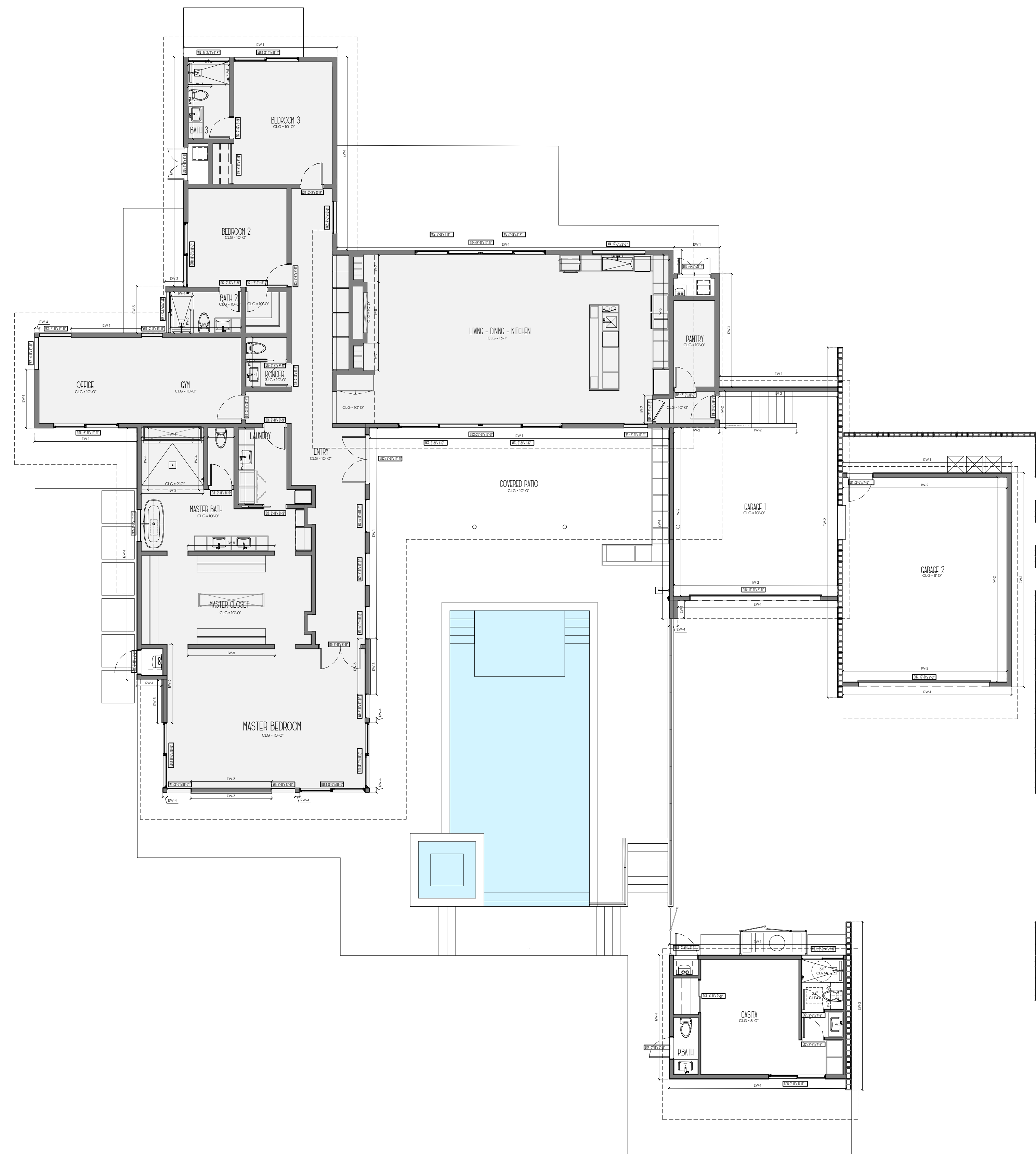
- PROPOSED WALLS**
2X6 WOOD STUD @ 16 O.C
FINISH: EXT: PLASTER WALL - INTERIOR 5/8" GYP.BD
INSTALL 5/8" TYPE X GYP.BD @ GARAGE WALLS
- PROPOSED WALLS**
2X4 WOOD STUD @ 16 O.C
FINISH: - INTERIOR 5/8" GYP.BD
- PROPOSED PONY WALL**
34 1/2" TALL
- CEILING:**
WITH FIBERGLASS INSULATION PER ENERGY DESIGN
FINISH: 5/8" GYP. BD. AND 5/8" TYPE X GYP. BD @ GARAGE
EXTERIOR: STUCCO - SEE FINISH PLAN FOR MORE INFORMATION
- STEP IN SLAB:**
ROLL IN SHOWER - 3" DROP SLAB.
- R.O. = MIN. ROUGH OPENING**
- - - = PROJECTIONS**
- DIMENSIONS ARE TO FACE OF STUD**

RESPONSIBLE PARTY FOR ARCHITECTURAL DRAWINGS
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 PHONE: 760 . 864 . 7364
 MICHAEL YAKOVICH
 LICENCE # 1029958

APPLICANT
CONTRACTOR
FREEMAN RESIDENCE
 PROJECT ADDRESS:
 196 VISTA PALAZADA DR. PALM SPRINGS, CA 92262.
 OWNER: CHRIS AND NANCY FREEMAN

PROJECT INFO
 REVISION
 DESCRIPTION
 DATE

PLAN CHECK
PROPOSED FRAMING PLAN



NAME : DIM. (WxH) NEW DOORS AND WINDOWS SYMBOL

EXTERIOR WALLS:

- EW-1** 3 COAT PORTLAND CEMENT PLASTER SYSTEM W/ MESH ACRYLIC COATING BETWEEN BROWN & FINISH COATS; OVER 2 LAYERS OF BUILDING PAPER & WIRE LATH PER ASTM C 1063 - LIGHT 20% SAND FINISH, INTEGRAL COLOR FINISH COAT; LA HABRA: DOVE GRAY 40
PROVIDE A WEEP SCREED FOR STUCCO AT THE FOUNDATION PLATE LINE A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS. WEEP SCREEDS SHALL BE OF A TYPE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING.
- EW-2** ABOVE GROUND CMU BLOCK WALL:
ANGELUS BLOCK, 4 AND 8X8X16 PRECISION MEDIUM WEIGHT, STACK BOND COLOR: COOL GREY, SEALED NATURAL FINISH - SPLIT FACE
- EW-3** 1"x6" GARAPA WOOD SIDING - MFR: ADVANTAGE LUMBER - COLOR: STAINED MONOCOAT CHOCOLATE

EXTERIOR CEILING:

- EC-1** 3 COAT PORTLAND CEMENT PLASTER SYSTEM W/ MESH ACRYLIC COATING BETWEEN BROWN & FINISH COATS; OVER 2 LAYERS OF BUILDING PAPER & WIRE LATH PER ASTM C 1063 - UNDERSIDE OF FLAT ROOF ASSEMBLY. LIGHT 20% SAND FINISH, INTEGRAL COLOR FINISH COAT; LA HABRA: DOVE GRAY 40

INTERIOR WALLS:

- IW-1** 5/8" GYP. BD. (SHIM FRAMING AS REQUIRED) -SMOOTH FINISH - GALVANIZED METAL CORNER BEAD, CASING AND TRIM. L-SHAPED TRIM AT EXPOSED EDGES. SEMI GLOSS-COLOR: TBD
- IW-2** 5/8" TYPER "X" GYP. BD. (SHIM FRAMING AS REQUIRED) -SMOOTH FINISH -GALVANIZED METAL CORNER BEAD, CASING AND TRIM. L-SHAPED TRIM AT EXPOSED EDGES. SEMI GLOSS- COLOR: TBD
- IW-3** 1/2" TEMPERED SAFETY GLASS PANEL (SHOWER ENCLOSURE) BEVELED CORNERS, SET IN STAINLESS STEEL CHANNELS WITH SILICONE
- IW-4** TILES (SHOWER WALLS) OVER 1/2" CEMENT BACKER BOARD (HARDY), OVER MOISTURE BARRIER -TILE: TBD
- IW-5** TILES (KITCHEN BACKSPLASH) OVER 1/2" CEMENT BACKER BOARD (HARDY), OVER MOISTURE BARRIER -TILE: TBD
- IW-6** ROLLER SHADES: "LUTRON" OR EQUAL MOTORIZED -ROLLER SHADES; SHADE FABRIC T.B.D.
- IW-7** WALL WOOD VENEER TO MATCH CABINETS
- IW-8** TBD -(WALL PAPER - TILE - VENEER - ETC)

BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FT. ABOVE THE FLOOR. (R307.2)
TILE, DECK AND/ OR SPLASH O/ 1/2" CEMENT BOARD. DO NOT USE GREEN BOARD DRYWALL FOR TILE BACKING. USE GREEN BOARD DRYWALL FOR PAINTED WALL AREAS IN BATHROOM ONLY AND BEHIND ENCLOSURE TO A HEIGHT OF 70" ABOVE DRAIN INLET

INTERIOR FLOORS:

- FL-1** 24"x48" PORCELAIN TILE - OWNER PROVIDES
- FL-2** FRY REGLET "Z" REVEAL MOLDING DRMZ-625-200 5/8"x2" COLOR: WHITE

INTERIOR CEILINGS:

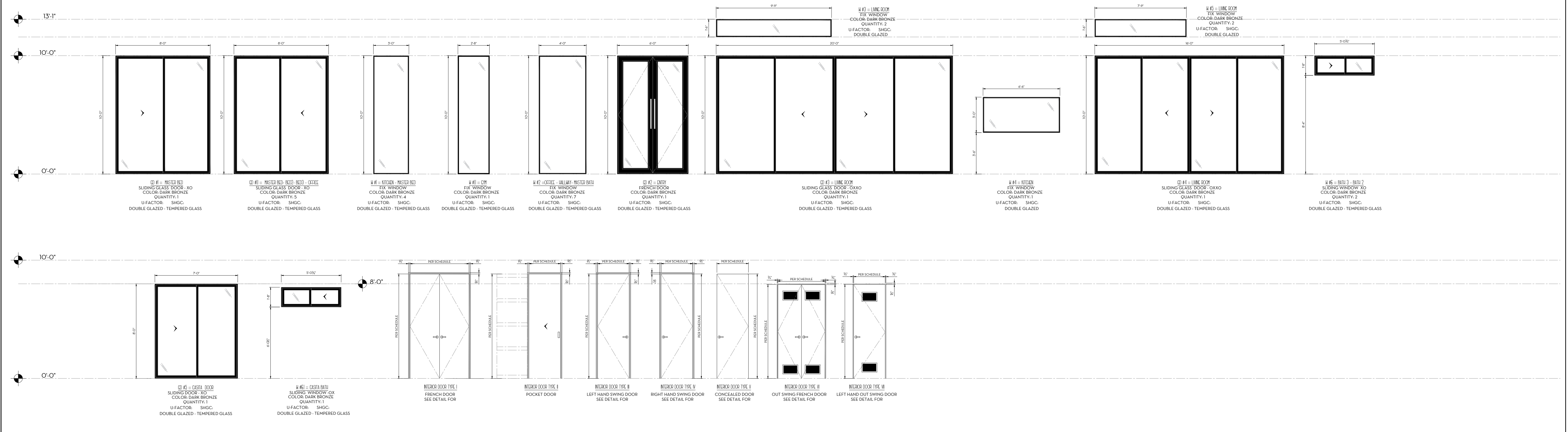
- IC-1** 5/8" GYP. BD. (SHIM FRAMING AS REQUIRED) -SMOOTH FINISH - GALVANIZED METAL CORNER BEAD, CASING AND TRIM. L-SHAPED TRIM AT EXPOSED EDGES. FLAT PAINT -COLOR: TBD
- IC-2** 5/8" TYPER "X" GYP. BD. (SHIM FRAMING AS REQUIRED) -SMOOTH FINISH -GALVANIZED METAL CORNER BEAD, CASING AND TRIM. L-SHAPED TRIM AT EXPOSED EDGES. FLAT PAINT- COLOR: TBD

ROOF:

- RF-1** SINGLE-PLY ROOFING SYSTEM FIBERTITE - CARLISLE SURE-FLEX PVC, COLOR: PVC TAN - CRRC PRODUCT ID#: 0628-0014
OVER 3/4" DENSDECK, OVER TAPERED (1/4" / FT) ISO RIGID FOAM INSULATION 25 PSI COMP. STRENGTH, MECHANICALLY FASTENED SEAMAN CORPORATION: ICC ESR-1456 (SYSTEM #4)
CLASS "A" / REFLECTANCE 0.66 / EMISSANCE 0.84
- RF-2** SHEET METAL FASCIA - BONDERIZED SHEET METAL - 22 GA., MIN. PAINT DARK BRONZE TO MATCH WINDOW FRAME
- RF-3** SKYLIGHTS = VELUX GSM 2096



REVISION	DESCRIPTION	DATE



RESPONSIBLE PARTY FOR ARCHITECTURAL DRAWINGS
MY GENERAL CONSTRUCTION INC.
 LICENSE: # 1029959
 ADDRESS: 160 NORTH LURING DRIVE, SUITE C
 PALM SPRINGS, CA 92262
 PHONE: 760.864.7364
 MICHAEL YAKOVICH
 LICENSE # 1029958

1 DOOR AND WINDOW ELEVATION SCALE: 1/4" = 1'-0"

GLASS DOOR SCHEDULE											
NUMBER	QUANT.	SIZE IN INCHES			GLASS DOOR			DETAILS		REMARKS	
		WIDTH	HEIGHT	AREA SQ. IN.	OPER.	GLASS	FRAME	FF	U-FACTOR		SHGC
GD1	1	96	120	11,520	SLD	T	ALU	F-3		MASTER BED -	
GD1.1	5	96	120	11,520	SLD	T	ALU	F-3		MASTER BED - OFFICE - BEDROOM 3 - BEDROOM 2	
GD2	1	72	120	8,640	FR	T	ALU	F-3		ENTRY	
GD3	1	240	120	28,800	MSL	T	ALU	F-3		OXOXO - LIVING ROOM	
GD4	1	192	120	23,040	MSL	T	ALU	F-3		OXOXO - LIVING ROOM	
GD5	1	84	96	8,064	SLD	T	ALU	F-3		CASITA ENTRY	

WINDOW SCHEDULE											
NUMBER	QUANT.	SIZE IN INCHES			WINDOW			DETAILS		REMARKS	
		WIDTH	HEIGHT	AREA SQ. IN.	OPER.	GLASS	FRAME	FF	SILL		U-FACTOR
1	4	36	120	4,320	FIX	T	ALU	F-3		MASTER BED - KITCHEN	
1.1	1	32	120	3,840	FIX	T	ALU	F-3		GYM	
2	7	48	120	5,760	FIX	T	ALU	F-3		HALLWAY - OFFICE - MASTER BATH	
3	2	117	18	2,106	FIX		ALU	F-3	138"	LIVING ROOM	
4	1	78	36	2,808	FIX		ALU	F-3	42"	KITCHEN	
5	2	93	18	1,674	FIX		ALU	F-3	138"	LIVING ROOM	
6	2	60.75	20	1,215	SLD	T	ALU	F-3	88"	XO - BATH 2 & 3	
6.1	1	60.75	20	1,215	SLD	T	ALU	F-3	76"	OX - CASITA BATH	

DOOR SCHEDULE											
NUMBER	QUANT.	SIZE		TYPE	DOOR			DETAILS		REMARKS	
		WIDTH	HEIGHT		OPERATION	MATERIAL	FRAME	JAMB	HEAD		
D1	1	5'-0"	8'-9"	I	FR	SC	WD	5.5"		MASTER BED -	
D2	1	2'-8"	8'-9"	II	POC	SC	WD	5.5"		LAUNDRY	
D3	4	2'-8"	8'-9"	III	SWI	SC	WD	5.5"		MASTER BATH - LAUNDRY - POWDER - BED 2	
D3.1	1	2'-8"	8'-9"	IV	SWI	SC	WD	5.5"		BED 3	
D4	1	3'-0"	8'-9"	III	SWI	SC	WD	5.5"		GYM	
D5	1	2'-4"	8'-9"	II	POC	SC	WD	3.5"		POWDER	
D6	3	2'-6"	8'-9"	III	SWI	SC	WD	5.5"		BATH 2 - BATH3 - PANTRY	
D6.1	1	2'-6"	8'-9"	IV	SWI	SC	WD	5.5"		BED 2	
D7	1	4'-11"	8'-9"		BIP	SC	WD	5.5"		BED 3	
D8	1	2'-8"	8'-9"	V	SWI	SC	WD	3.5"		KITCHEN - CONCEALED DOOR	
D9	1	3'-0"	6'-9"	III	SWI	SC	WD	5.5"		1-3/8" THICK, 20 MINUTE RATED SELF LATCHING / CLOSING DOOR	
D10	2	4'-0"	8'-0"	VI	OUT FRN	SC	WD	5.5"		MECH	
D11	1	2'-10"	8'-0"	VII	OUT SWI	SC	WD	5.5"		MECH	
D11.1	1	2'-10"	7'-0"	VII	OUT SWI	SC	WD	5.5"		MECH	
D12	1	2'-6"	7'-0"	III	SWI	SC	WD	5.5"		POOL BATH	
D12.1	2	2'-6"	7'-9"	III	SWI	SC	WD	3.5"		CASITA BATH	
D13	1	4'-0"	7'-9"		BIP	SC	WD	3.5"		CASITA CLOSET	
D14	1	3'-0"	7'-0"	IV	SWI	SC	WD	5.5"		GARAGE	
D15	1	16'-0"	8'-0"			SC	WD			ROLL UP GARAGE DOOR - INSULATED	
D16	1	16'-0"	7'-0"			SC	WD			ROLL UP GARAGE DOOR - INSULATED	

WINDOW / GLAZED DOOR LEGEND: WINDOW/DOOR TYPE

NOTES: ALL GLAZING LESS THAN 24" FROM DOOR OPENINGS MUST BE TEMPERED

WINDOW NOTES:
 OPENABLE WINDOWS SHALL BE LOCATED A MINIMUM OF 10" FROM ANY PLUMBING VENTS, CHIMNEYS, ETC. PER SECTION R303.5

OPERATION TYPE:
 CM CASEMENT WINDOW
 FIX FIX GLASS - PICTURE WINDOW
 HOP HOPPER WINDOW
 AWN AWNING WINDOW
 CLS CLEAR STORY BUTJOINT WINDOW
 SLD SLIDING WINDOW / DOOR
 POC POCKET WINDOW / DOOR
 BI BIFOLD WINDOW / DOOR
 PSLD POCKET SLIDER

GLASS TYPE:
 T TEMPERED - DOUBLE GLAZED
 WF WHITE FROSTED

FRAME MATERIAL LEGEND:
 WD WOOD FRAME (SEE DETAILS)
 ALU ALUMINUM FRAME
 MTL METAL DOOR

WINDOW / GLASS DOOR FRAME FINISH:
 F-1 PAINT
 F-2 CLEAR ANODIZED
 F-3 DARK BRONZE

REMARKS:
 WINDOW AREA CALCULATION INCLUDES FRAME AREA.
 ALL WINDOWS SHALL BE DUAL GLAZED
 THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATIONS

DOOR MATERIAL LEGEND:
 SC 1-3/8" SOLID CORE WOOD DOOR
 HC 1-3/8" HOLLOW CORE WOOD DOOR
 POC 1-3/8" POCKET DOOR
 GAR GARAGE DOOR
 BIP BI-PASS CLOSET DOOR
 SLE SLIDING SCREEN DOOR SYSTEM
 ROL ROLLING DOOR (EXTERIOR)

FRAME MATERIAL LEGEND:
 WD WOOD FRAME (SEE DETAILS)
 ALU ALUMINUM FRAME
 MTL METAL DOOR

FINISH TYPE:
 F-1 CLEAR ANODIZED
 P-2 SEMI GLOSS PAINT FINISH

DOOR NOTES:
 INSTALL A SELF-LATCHING DOOR AT OPENINGS BETWEEN GARAGE AND DWELLING. PER SECTION R302.51

OPERATION TYPE:
 SWI SWING DOOR
 SLD SLIDING DOOR
 POC POCKET DOOR
 PIV PIVOT DOOR
 BRN BARN DOOR
 BI BIFOLD DOOR
 GAR GARAGE DOOR
 FR FRENCH DOOR
 MSL MULTI SLIDER

NOTES:
 OPENINGS AROUND WINDOWS, SKYLIGHTS AND DOORS BE CAULKED, GASKETED, WEATHERSTRIPPED, OR OTHERWISE SEALED TO LIMIT AIR LEAKAGE. CEC 110.7.
 MANUFACTURED FENESTRATION PRODUCTS SHALL HAVE BOTH A TEMPORARY AND PERMANENT LABEL. THE TEMPORARY LABEL SHALL SHOW THE U-FACTOR, SHGC, AND THE VIT AND VERIFY THAT THE WINDOW COMPLIES WITH THE AIR LEAKAGE REQUIREMENTS. CEC 110.6(A)(5)
 DOOR AND WINDOW HARDWARE TO BE DETERMINED.
 INSTALL A SELF-LATCHING DOOR AT OPENINGS BETWEEN GARAGE AND DWELLING. PER SECTION R302.51
 THE CONTRACTOR SHALL CAREFULLY VERIFY DOOR & WINDOW QUANTITIES AND MEASURES ONCE SAW CUT IN CONCRETE IS DONE & CLARIFY WITH MANUFACTURER OR CONTRACTOR.

3 LEGEND

[DP-1] PAINTED DOORS:
 1- COAT OF PRIMER
 2- COATS OF FINISH PAINT
 COLORS
 SHEEN: TYPICAL EXTERIOR DOORS - LOW SHEEN
 TYPICAL INTERIOR DOORS - SATIN
 TYPICAL ENTRY DOOR - GLOSS

[DP-2] WOOD VENEER OVER DOOR:

2 SCHEDULE **4 HARDWARE**

FREEMAN RESIDENCE
 PROJECT ADDRESS: 196 VISTA PALAZADA DR. PALM SPRINGS, CA 92262.
 OWNER: CHRIS AND NANCY FREEMAN

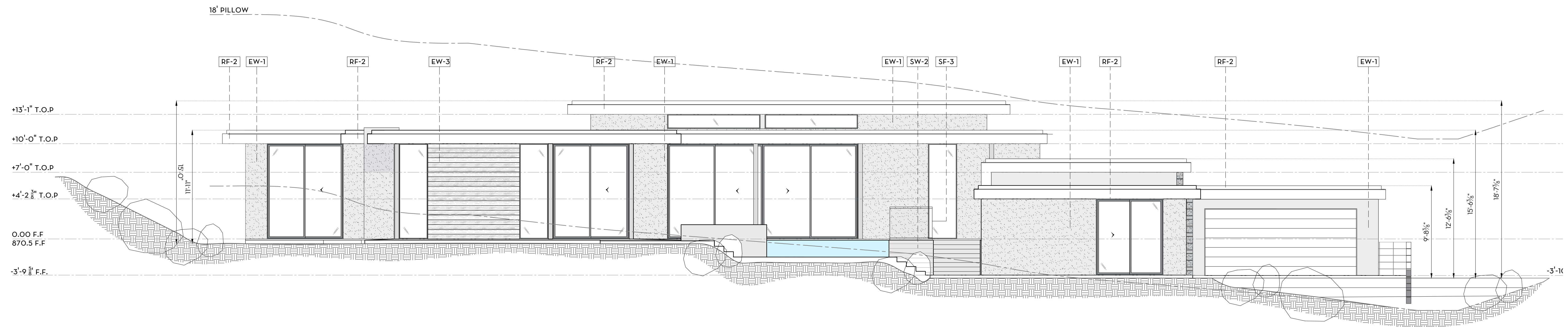
PROJECT INFO

REVISION	DESCRIPTION	DATE

PLAN CHECK

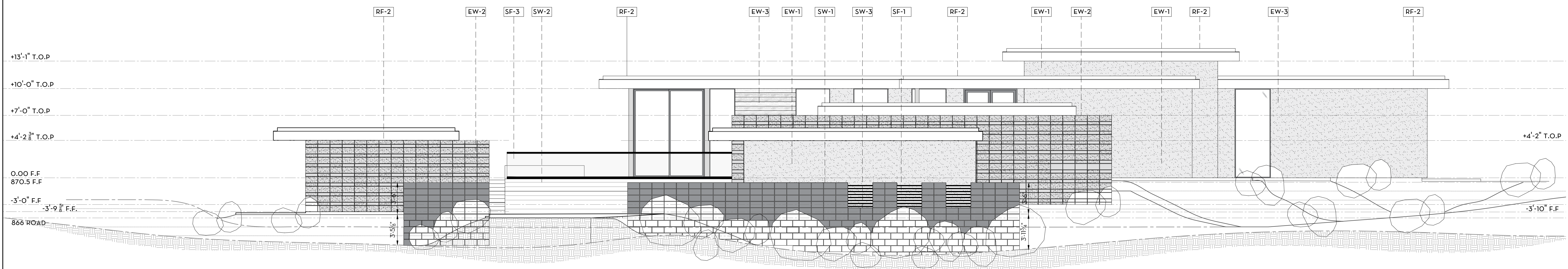
DOOR & WINDOW SCHEDULE

A1.3



1 SOUTH- EAST ELEVATION

SCALE: 3/16" = 1'-0"



2 NORTH- EAST ELEVATION

SCALE: 3/16" = 1'-0"

EXTERIOR WALLS:

- EW-1** 3 COAT PORTLAND CEMENT PLASTER SYSTEM W/ MESH ACRYLIC COATING BETWEEN BROWN & FINISH COATS; OVER 2 LAYERS OF BUILDING PAPER & WIRE LATH PER ASTM C 1063 - LIGHT 20% SAND FINISH, INTEGRAL COLOR FINISH COAT; LA HABRA: DOVE GRAY 40
- EW-2** ABOVE GROUND CMU BLOCK WALL: ANGELUS BLOCK, 8X8X16 PRECISION MEDIUM WEIGHT, STACK BOND- SPLIT FACE COLOR: COOL GREY, SEALED NATURAL FINISH SPLIT FACE
- EW-3** 1"x6" GARAPA WOOD SIDING - MFGR: ADVANTAGE LUMBER - COLOR: STAINED MONOCOAT CHOCOLATE

EXTERIOR CEILING:

- EC-1** 3 COAT PORTLAND CEMENT PLASTER SYSTEM W/ MESH ACRYLIC COATING BETWEEN BROWN & FINISH COATS; OVER 2 LAYERS OF BUILDING PAPER & WIRE LATH PER ASTM C 1063 - UNDERSIDE OF FLAT ROOF ASSEMBLY. LIGHT 20% SAND FINISH, INTEGRAL COLOR FINISH COAT; LA HABRA: DOVE GRAY 40

INTERIOR WALLS:

- IW-1** 5/8" GYP. BD. (SHIM FRAMING AS REQUIRED) -SMOOTH FINISH - GALVANIZED METAL CORNER BEAD, CASING AND TRIM. L-SHAPED TRIM AT EXPOSED EDGES. SEMI GLOSS -COLOR: TBD
- IW-2** 3/8" TYPER "X" GYP. BD. (SHIM FRAMING AS REQUIRED) -SMOOTH FINISH -GALVANIZED METAL CORNER BEAD, CASING AND TRIM. L-SHAPED TRIM AT EXPOSED EDGES. SEMI GLOSS- COLOR: TBD
- IW-3** 1/2" TEMPERED SAFETY GLASS PANEL (SHOWER ENCLOSURE) BEVELED CORNERS, SET IN STAINLESS STEEL CHANNELS WITH SILICONE
- IW-4** TILES (SHOWER WALLS) OVER 1/2" CEMENT BACKER BOARD (HARDY),OVER MOISTURE BARRIER -TILE: TBD
- IW-5** TILES (KITCHEN BACKSPLASH) OVER 1/2" CEMENT BACKER BOARD (HARDY),OVER MOISTURE BARRIER -TILE: TBD
- IW-6** ROLLER SHADES: "LUTRON" OR EQUAL MOTORIZED -ROLLER SHADES; SHADE FABRIC T.B.D.

INTERIOR FLOORS:

- FL-1** TBD
- FL-2** FRY REGLET 'Z' REVEAL MOLDING DRMZ-625-200 5/8" X2" PAINT: TBD

SITE WALLS:

- SW-1** ANGELUS BLOCK 8X8X16 PRECISION MEDIUM WEIGHT CMU BLOCK WALL, COLOR: COOL GREY - STACKED BOND_SEALED NATURAL FINISH
- SW-2** ANGELUS BLOCK 6X8X16 PRECISION MEDIUM WEIGHT CMU BLOCK WALL, COLOR: COOL GREY - STACKED BOND_SEALED NATURAL FINISH
- SW-3** CAST IN PLACE CONCRETE RETAINING WALL -BOARD FORMED CONCRETE WALLS (THICKNESS PER STRUCTURAL PLANS) NATURAL SEALED FINISH SEALED W/ SINAK S-102 SEALER

FENCE:

- SF-1** 3'-6 TALL STEEL FENCE
- SF-2** 5' TALL STEEL FENCE WITH GATE - SEE BELOW
- SF-3** 3'-6" TALL GLASS FENCE - GLASS BASE & TOP RAIL - VIEWRAIL

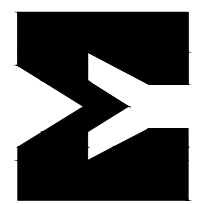
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ROOF:

- RF-1** SINGLE-PLY ROOFING SYSTEM FIBERTITE - CARLISLE SURE-FLEX PVC, COLOR: PVC TAN - CRRC PRODUCT ID#: 0628-0014 OVER 1/2" DENSDECK, OVER TAPERED (1/4" /FT) ISO RIGID FOAM INSULATION 25 PSI COMP. STRENGHT, MECHANICALLY FASTENED SEAMAN CORPORATION: ICC ESR-1456 (SYSTEM #4) CLASS "A" / REFLECTANCE 0.66 / EMITTANCE 0.84
- RF-2** SHEET METAL FASCIA - BONDERIZED SHEET METAL - 22 GA., MIN. PAINT DARK BRONZE TO MATCH WINDOW FRAME
- RF-3** SKYLIGHTS = VELUX GSM 2096

3 LEGEND



APPLICANT

CONTRACTOR

FREEMAN RESIDENCE
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OWNER: CHRIS AND NANCY FREEMAN

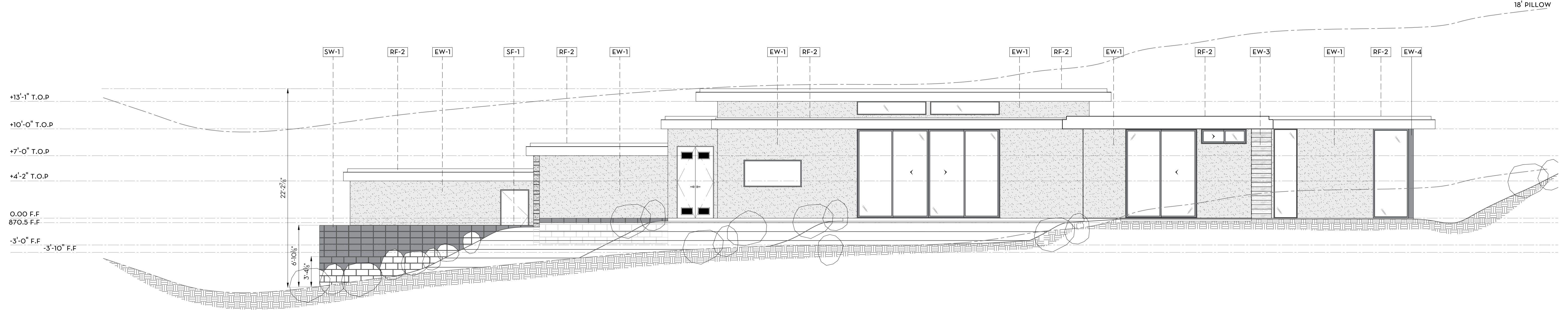
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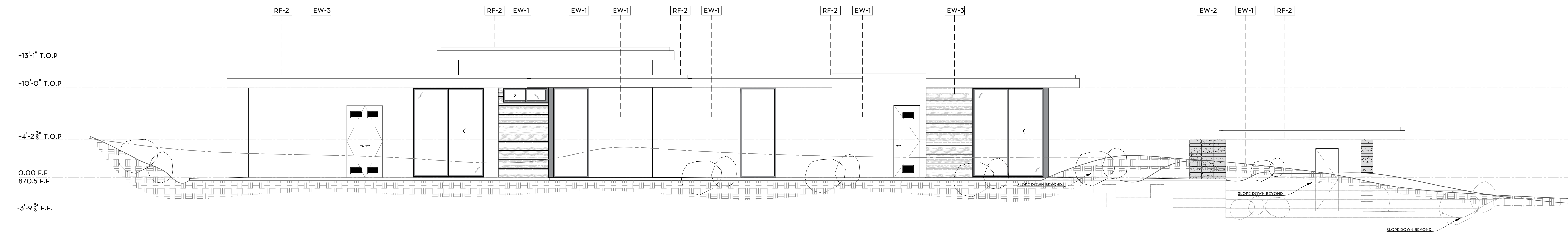
EXTERIOR ELEVATIONS

A1.4



1 NORTH- WEST ELEVATION

SCALE: 3/16" = 1'-0"



2 SOUTH- WEST ELEVATION

SCALE: 3/16" = 1'-0"

EXTERIOR WALLS:

- EW-1** 3 COAT PORTLAND CEMENT PLASTER SYSTEM W/ MESH ACRYLIC COATING BETWEEN BROWN & FINISH COATS; OVER 2 LAYERS OF BUILDING PAPER & WIRE LATH PER ASTM C 1063 - LIGHT 20% SAND FINISH, INTEGRAL COLOR FINISH COAT; LA HABRA: DOVE GRAY 40
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- EW-3** 1"x6" GARAPA WOOD SIDING - MFGR: ADVANTAGE LUMBER - COLOR: STAINED MONOCOAT CHOCOLATE

EXTERIOR CEILING:

- EC-1** 3 COAT PORTLAND CEMENT PLASTER SYSTEM W/ MESH ACRYLIC COATING BETWEEN BROWN & FINISH COATS; OVER 2 LAYERS OF BUILDING PAPER & WIRE LATH PER ASTM C 1063 - UNDERSIDE OF FLAT ROOF ASSEMBLY. LIGHT 20% SAND FINISH, INTEGRAL COLOR FINISH COAT; LA HABRA: DOVE GRAY 40

INTERIOR WALLS:

- IW-1** 5/8" GYP. BD. (SHIM FRAMING AS REQUIRED) -SMOOTH FINISH - GALVANIZED METAL CORNER BEAD, CASING AND TRIM. L-SHAPED TRIM AT EXPOSED EDGES. SEMI GLOSS -COLOR: TBD
- IW-2** 3/8" TYPER "X"GYP. BD. (SHIM FRAMING AS REQUIRED) -SMOOTH FINISH -GALVANIZED METAL CORNER BEAD, CASING AND TRIM. L-SHAPED TRIM AT EXPOSED EDGES. SEMI GLOSS- COLOR: TBD
- IW-3** 1/2" TEMPERED SAFETY GLASS PANEL (SHOWER ENCLOSURE) BEVELED CORNERS, SET IN STAINLESS STEEL CHANNELS WITH SILICONE
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- IW-6** ROLLER SHADES: "LUTRON" OR EQUAL MOTORIZED -ROLLER SHADES; SHADE FABRIC T.B.D.

INTERIOR FLOORS:

- FL-1** TBD
- FL-2** FRY REGLET 'Z' REVEAL MOLDING DRMZ-625-200 5/8"X2" PAINT: TBD

SITE WALLS:

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FENCE:

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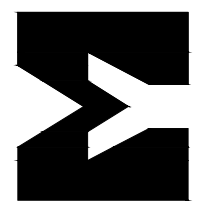
ROOF:

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- RF-3** SKYLIGHTS = VELUX GSM 2096

3 LEGEND

RESPONSIBLE PARTY FOR ARCHITECTURAL DRAWINGS
MICHAEL YAKOVICH
LICENCE # 1029958

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APPLICANT

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PROJECT ADDRESS: 196 VISTA PALIZADA DR. PALM SPRINGS, CA 92262.
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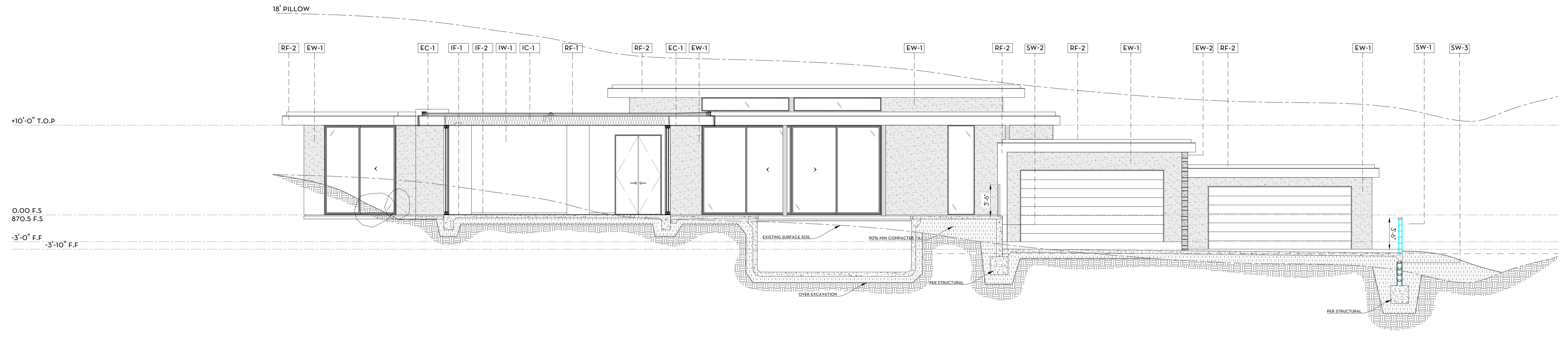
PROJECT INFO

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PLAN CHECK

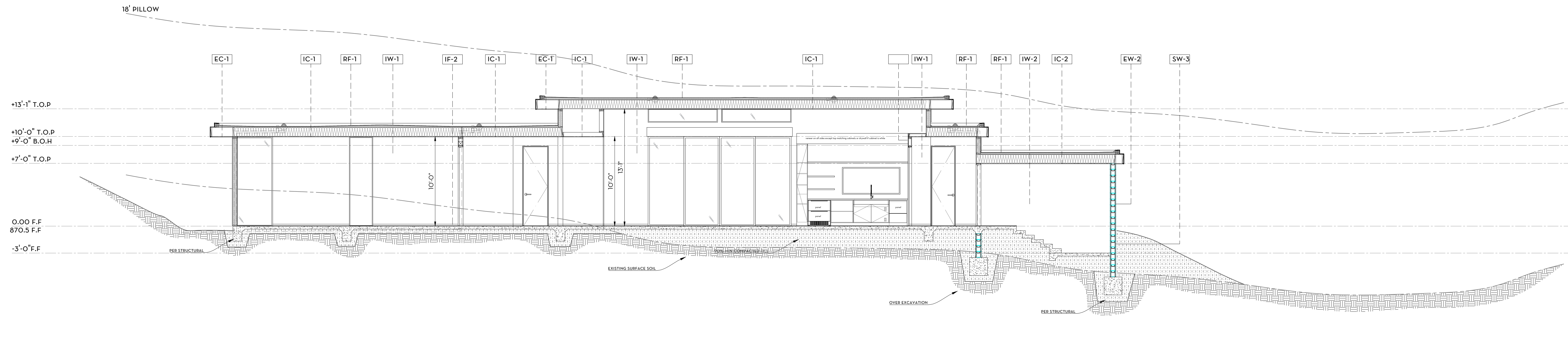
EXTERIOR ELEVATIONS

A1.5



A SECTION A

SCALE: 3/16" = 1'-0"



B SECTION B

SCALE: 3/16" = 1'-0"

EXTERIOR WALLS:

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EXTERIOR CEILING:

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INTERIOR FLOORS:

- FL-1** TBD
- FL-2** FRY REGLET 'Z' REVEAL MOLDING DRMZ-625-200 5/8"x2" PAINT: TBD

SITE WALLS:

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FENCE:

- SF-1** 3'-6" TALL STEEL FENCE
- SF-2** 5' TALL STEEL FENCE WITH GATE - SEE BELOW
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- RF-3** SKYLIGHTS = VELUX GSM 2096

3 LEGEND

RESPONSIBLE PARTY FOR ARCHITECTURAL DRAWINGS
MICHAEL YAKOVICH
LICENCE # 102958

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APPLICANT

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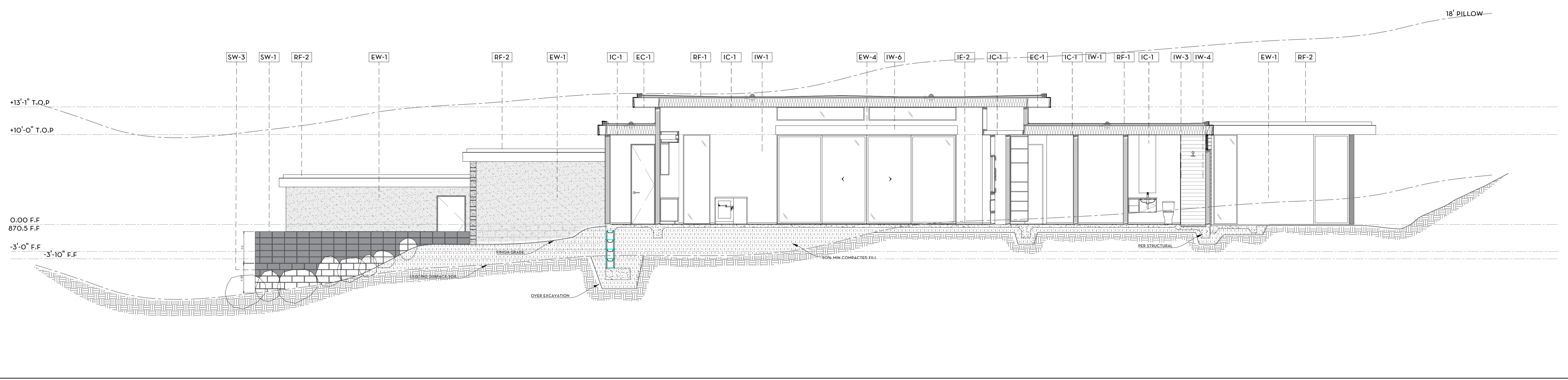
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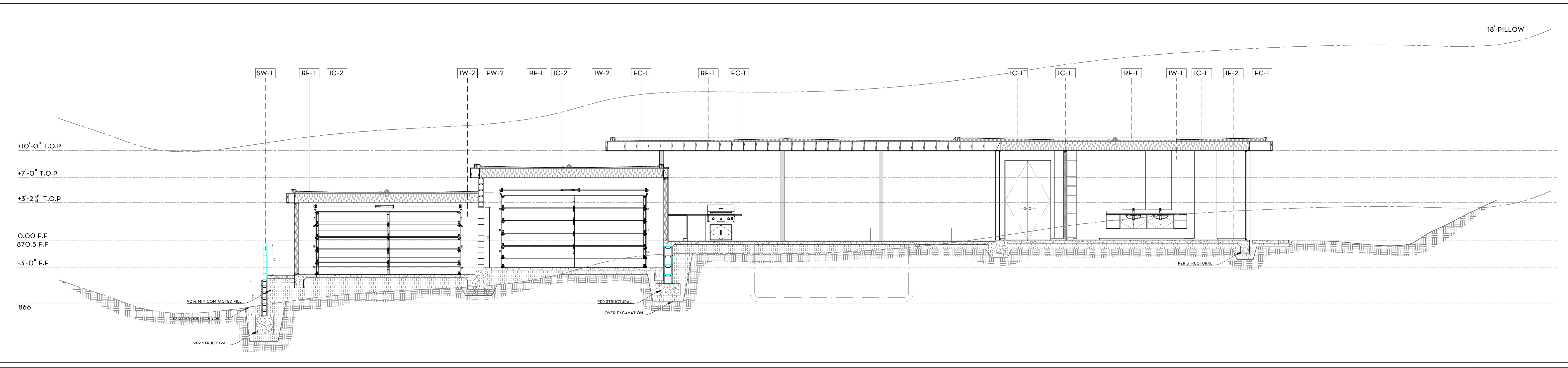
PLAN CHECK

BUILDING SECTIONS

A2.0



C SECTION C SCALE: 3/16" = 1'-0"



D SECTION D SCALE: 3/16" = 1'-0"

- EXTERIOR WALLS:**
- EW-1** 3 COAT PORTLAND CEMENT PLASTER SYSTEM W/ MESH ACRYLIC COATING BETWEEN BROWN & FINISH COATS; OVER 2 LAYERS OF BUILDING PAPER & WIRE LATH PER ASTM C 1063 - LIGHT 20% SAND FINISH, INTEGRAL COLOR FINISH COAT; LA HABRA: DOVE GRAY 40
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- INTERIOR FLOORS:**
- FL-1** TBD
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 MY GENERAL CONSTRUCTION INC.
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 PALM SPRINGS | CA 92262
 PHONE: 760 . 864 . 7364
 MICHAEL YAKOVICH
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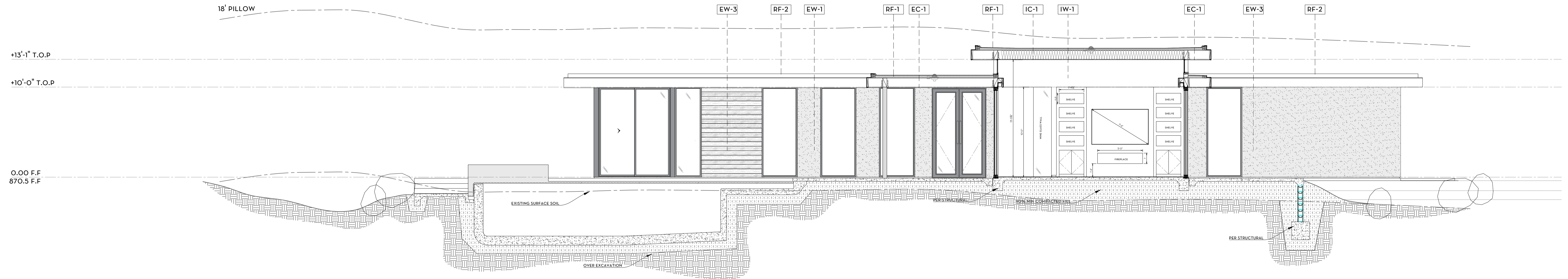
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REVISION	DESCRIPTION	DATE

PROJECT INFO

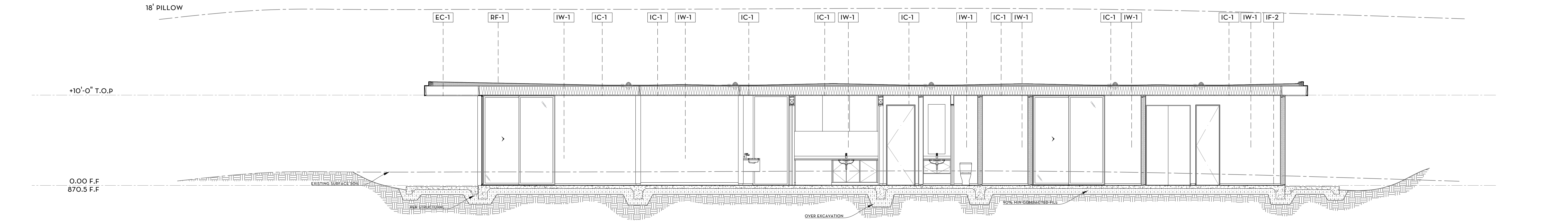
PLAN CHECK

BUILDING SECTIONS



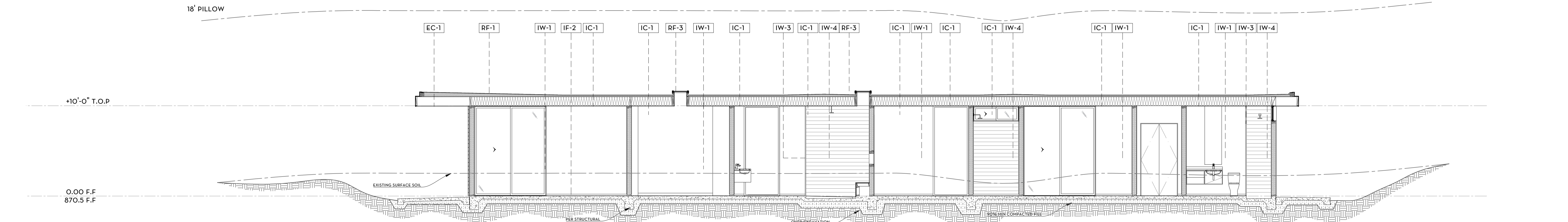
E SECTION E

SCALE: 3/16" = 1'-0"



F SECTION F

SCALE: 3/16" = 1'-0"



G SECTION G

RESPONSIBLE PARTY FOR ARCHITECTURAL DRAWINGS
MY GENERAL CONSTRUCTION INC.
 LICENSE: # 1029959
 ADDRESS: 160 NORTH LURING DRIVE, SUITE C
 PALM SPRINGS, CA 92262
 PHONE: 760.864.7364
 MICHAEL YAKOVICH
 LICENSE # 1029958

APPLICANT

CONTRACTOR

FREEMAN RESIDENCE
 PROJECT ADDRESS: 196 VISTA PALAZADA DR., PALM SPRINGS, CA 92262.
 OWNER: CHRIS AND NANCY FREEMAN

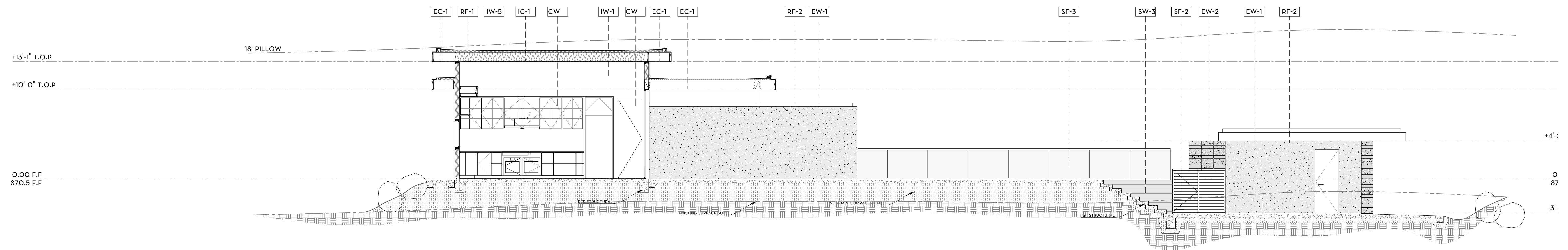
PROJECT INFO

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PLAN CHECK

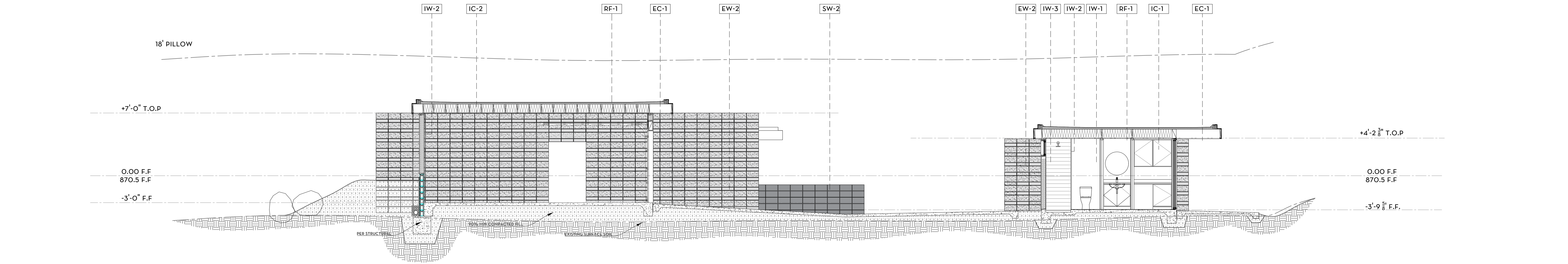
BUILDING SECTIONS

A2.2



H SECTION H

SCALE: 3/16" = 1'-0"



I SECTION I

SCALE: 3/16" = 1'-0"

EXTERIOR WALLS:

- EW-1** 3 COAT PORTLAND CEMENT PLASTER SYSTEM W/ MESH ACRYLIC COATING BETWEEN BROWN & FINISH COATS; OVER 2 LAYERS OF BUILDING PAPER & WIRE LATH PER ASTM C 1063 - LIGHT 20% SAND FINISH, INTEGRAL COLOR FINISH COAT; LA HABRA: DOVE GRAY 40
- EW-2** ABOVE GROUND CMU BLOCK WALL: ANGELUS BLOCK, 8X8X16 PRECISION MEDIUM WEIGHT, STACK BOND COLOR: COOL GREY, SEALED NATURAL FINISH
- EW-3** 1"x6" GARAPA WOOD SIDING - MFGR: ADVANTAGE LUMBER - COLOR: STAINED MONOCOAT CHOCOLATE

EXTERIOR CEILING:

- EC-1** 3 COAT PORTLAND CEMENT PLASTER SYSTEM W/ MESH ACRYLIC COATING BETWEEN BROWN & FINISH COATS; OVER 2 LAYERS OF BUILDING PAPER & WIRE LATH PER ASTM C 1063 - UNDERSIDE OF FLAT ROOF ASSEMBLY. LIGHT 20% SAND FINISH, INTEGRAL COLOR FINISH COAT; LA HABRA: DOVE GRAY 40

INTERIOR WALLS:

- IW-1** 5/8" GYP. BD. (SHIM FRAMING AS REQUIRED) -SMOOTH FINISH - GALVANIZED METAL CORNER BEAD, CASING AND TRIM. L-SHAPED TRIM AT EXPOSED EDGES. SEMI GLOSS -COLOR: TBD
- IW-2** 3/8" TYPER "X" GYP. BD. (SHIM FRAMING AS REQUIRED) -SMOOTH FINISH -GALVANIZED METAL CORNER BEAD, CASING AND TRIM. L-SHAPED TRIM AT EXPOSED EDGES. SEMI GLOSS- COLOR: TBD
- IW-3** 1/2" TEMPERED SAFETY GLASS PANEL (SHOWER ENCLOSURE) BEVELED CORNERS, SET IN STAINLESS STEEL CHANNELS WITH SILICONE
- IW-4** TILES (SHOWER WALLS) OVER 1/2" CEMENT BACKER BOARD (HARDY),OVER MOISTURE BARRIER -TILE: TBD
- IW-5** TILES (KITCHEN BACKSPLASH) OVER 1/2" CEMENT BACKER BOARD (HARDY),OVER MOISTURE BARRIER -TILE: TBD
- IW-6** ROLLER SHADES: "LUTRON" OR EQUAL MOTORIZED -ROLLER SHADES; SHADE FABRIC T.B.D.

INTERIOR FLOORS:

- FL-1** TBD
- FL-2** FRY REGLET 'Z' REVEAL MOLDING DRMZ-625-200 5/8" X2" PAINT: TBD

SITE WALLS:

- SW-1** ANGELUS BLOCK 8X8X16 PRECISION MEDIUM WEIGHT CMU BLOCK WALL, COLOR: COOL GREY - STACKED BOND_SEALED NATURAL FINISH
- SW-2** ANGELUS BLOCK 6X8X16 PRECISION MEDIUM WEIGHT CMU BLOCK WALL, COLOR: COOL GREY - STACKED BOND_SEALED NATURAL FINISH
- SW-3** CAST IN PLACE CONCRETE RETAINING WALL -BOARD FORMED CONCRETE WALLS (THICKNESS PER STRUCTURAL PLANS) NATURAL SEALED FINISH SEALED W/ SINAK S-102 SEALER

FENCE:

- SF-1** 3' TALL STEEL FENCE
- SF-2** 5' TALL STEEL FENCE WITH GATE - SEE BELOW
- SF-3** 3'6" TALL GLASS FENCE - GLASS BASE & TOP RAIL - VIEWRAIL

INTERIOR CEILINGS:

- IC-1** 5/8" GYP. BD. (SHIM FRAMING AS REQUIRED) -SMOOTH FINISH - GALVANIZED METAL CORNER BEAD, CASING AND TRIM. L-SHAPED TRIM AT EXPOSED EDGES. FLAT PAINT -COLOR: TBD
- IC-2** 3/8" TYPER "X" GYP. BD. (SHIM FRAMING AS REQUIRED) -SMOOTH FINISH -GALVANIZED METAL CORNER BEAD, CASING AND TRIM. L-SHAPED TRIM AT EXPOSED EDGES. FLAT PAINT- COLOR: TBD

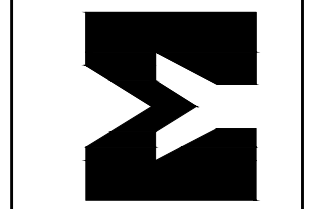
ROOF:

- RF-1** SINGLE-PLY ROOFING SYSTEM FIBERTITE - CARLISLE SURE-FLEX PVC, COLOR: PVC TAN - CRRC PRODUCT ID#: 0628-0014 OVER 1/4" DENSDECK, OVER TAPERED 1/4" (FT) ISO RIGID FOAM INSULATION 25 PSI COMP. STRENGTH, MECHANICALLY FASTENED SEAMAN CORPORATION: ICC ESR-1456 (SYSTEM #4) CLASS "A" / REFLECTANCE 0.66 / EMITTANCE 0.84
- RF-2** SHEET METAL FASCIA - BONDERIZED SHEET METAL - 22 GA., MIN. PAINT DARK BRONZE TO MATCH WINDOW FRAME
- RF-3** SKYLIGHTS = VELUX GSM 2096

3 LEGEND

RESPONSIBLE PARTY FOR ARCHITECTURAL DRAWINGS
MICHAEL YAKOVICH
LICENCE # 102958

MY GENERAL CONSTRUCTION INC.
LICENSE: # 102959
ADDRESS: 160 NORTH LURING DRIVE, SUITE C
PALM SPRINGS, CA 92262
PHONE: 760.864.7364



APPLICANT

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PROJECT ADDRESS: 196 VISTA PALIZADA DR. PALM SPRINGS, CA 92262.
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PROJECT INFO

REVISION	DESCRIPTION	DATE

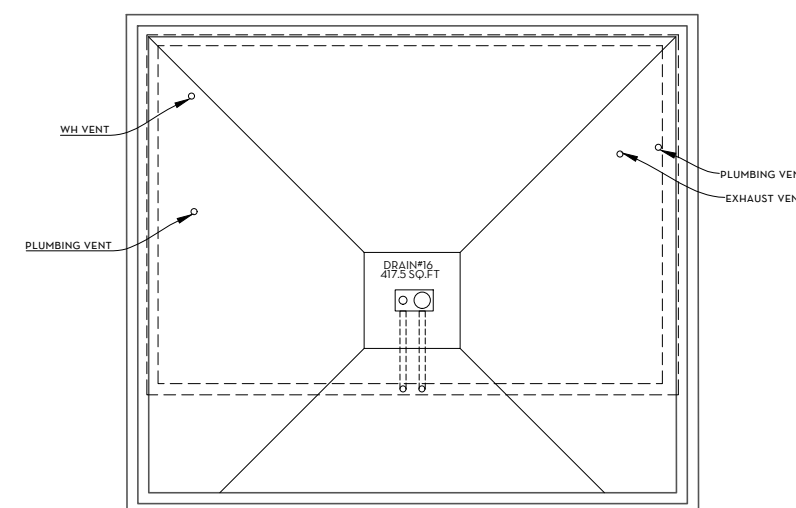
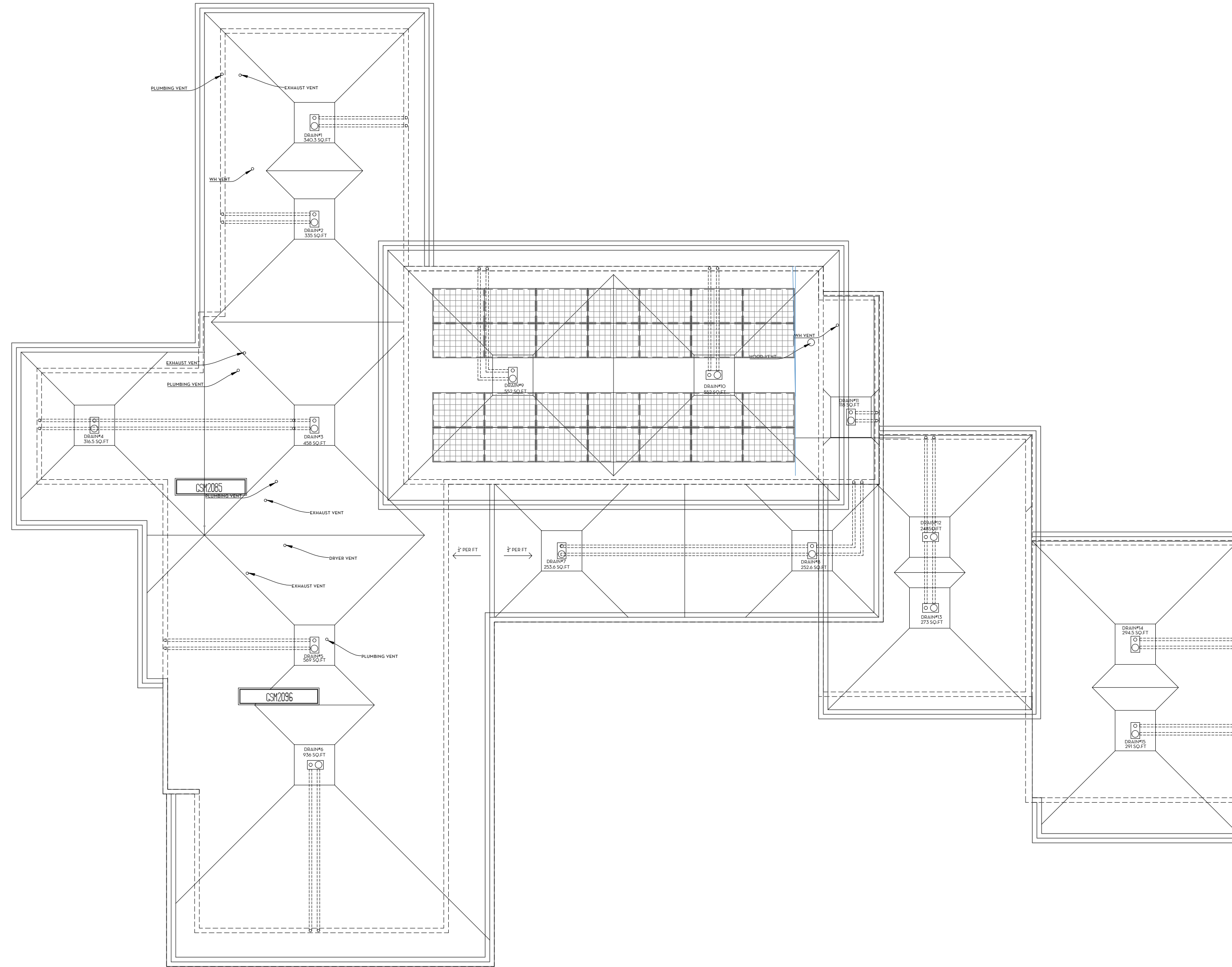
PLAN CHECK

BUILDING SECTIONS

A2.3

ROOF DRAIN SIZING: (CPC TABLES 1101.12/ 1103.3)

RAINFALL RATE :	3" / HOUR
MAX ALLOWABLE HORIZONTAL PROJECTED ROOD AREA - 2930 SQ.FT AT 3" DIAMETER LEADER PIPE	
ROOF SLOPE:	1/4"/FT.
ROOF DRAIN #1 SLOPE 1/4"/FT.	
TRIBUTARY AREA (DRAIN#1)	340.3 SF
HORIZONTAL & VERTICAL LEADER PIPES	Ø3"
ROOF DRAIN #2 SLOPE 1/4"/FT.	
TRIBUTARY AREA (DRAIN#2)	335 SF
HORIZONTAL & VERTICAL LEADER PIPES	Ø3"
ROOF DRAIN #3 SLOPE 1/4"/FT.	
TRIBUTARY AREA (DRAIN#3)	458 SF
HORIZONTAL & VERTICAL LEADER PIPES	Ø3"
ROOF DRAIN #4 SLOPE 1/8"/FT.	
TRIBUTARY AREA (DRAIN#4)	316.5 SF
HORIZONTAL & VERTICAL LEADER PIPES	Ø3"
ROOF DRAIN #5 SLOPE 1/4"/FT.	
TRIBUTARY AREA (DRAIN#5)	569 SF
HORIZONTAL & VERTICAL LEADER PIPES	Ø3"
ROOF DRAIN #6 SLOPE 1/4"/FT.	
TRIBUTARY AREA (DRAIN#6)	936 SF
HORIZONTAL & VERTICAL LEADER PIPES	Ø3"
ROOF DRAIN #7 SLOPE 1/4"/FT.	
TRIBUTARY AREA (DRAIN#7)	253.6 SF
HORIZONTAL & VERTICAL LEADER PIPES	Ø3"
ROOF DRAIN #8 SLOPE 1/4"/FT.	
TRIBUTARY AREA (DRAIN#8)	252.6 SF
HORIZONTAL & VERTICAL LEADER PIPES	Ø3"
ROOF DRAIN #9 SLOPE 1/4"/FT.	
TRIBUTARY AREA (DRAIN#9)	552 SF
HORIZONTAL & VERTICAL LEADER PIPES	Ø3"
ROOF DRAIN #10 SLOPE 1/4"/FT.	
TRIBUTARY AREA (DRAIN#10)	552 SF
HORIZONTAL & VERTICAL LEADER PIPES	Ø3"
ROOF DRAIN #11 SLOPE 1/4"/FT.	
TRIBUTARY AREA (DRAIN#11)	118 SF
HORIZONTAL & VERTICAL LEADER PIPES	Ø3"
ROOF DRAIN #12 SLOPE 1/4"/FT.	
TRIBUTARY AREA (DRAIN#12)	248 SF
HORIZONTAL & VERTICAL LEADER PIPES	Ø3"
ROOF DRAIN #13 SLOPE 1/4"/FT.	
TRIBUTARY AREA (DRAIN#13)	273 SF
HORIZONTAL & VERTICAL LEADER PIPES	Ø3"
ROOF DRAIN #14 SLOPE 1/4"/FT.	
TRIBUTARY AREA (DRAIN#14)	294.5 SF
HORIZONTAL & VERTICAL LEADER PIPES	Ø3"
ROOF DRAIN #15 SLOPE 1/4"/FT.	
TRIBUTARY AREA (DRAIN#15)	291 SF
HORIZONTAL & VERTICAL LEADER PIPES	Ø3"
ROOF DRAIN #16 SLOPE 1/4"/FT.	
TRIBUTARY AREA (DRAIN#16)	417.5 SF
HORIZONTAL & VERTICAL LEADER PIPES	Ø3"



ROOF PLAN NOTES:

- "INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS".
- 1/4" PER FOOT MINIMUM ROOF SLOPE FOR ALL ROOF ASSEMBLIES.
- "MAX ROOF HEIGHT 15'-0" ABOVE PAD ELEVATION.

THE PROPOSED ENCLOSED RAFTER ROOF ASSEMBLY, (WITHOUT A RADIANT BARRIER), SHALL HAVE AIR-PERMEABLE INSULATION APPLIED IN DIRECT CONTACT WITH THE UNDERSIDE OF THE STRUCTURAL ROOF SHEATHING, IN ADDITION RIGID INSULATION WITH AN R-VALUE OF R-4 SHALL BE INSTALLED DIRECTLY ABOVE THE STRUCTURAL ROOF SHEATHING FOR CONDENSATION CONTROL. ROOF VENTILATION IS NOT REQUIRED PER CRC §R806.5

ROOF:

RF-1 SINGLE-PLY ROOFING SYSTEM FIBERTITE - CARLISLE SURE-FLEX PVC, COLOR: PVC TAN - CRRC PRODUCT ID#: 0628-0014
 OVER 1/2" DENSDECK, OVER TAPERED (1/4" / FT) ISO RIGID FOAM INSULATION 25 PSI COMP. STRENGTH, MECHANICALLY FASTENED SEAMAN CORPORATION: ICC ESR-1456 (SYSTEM #4)
 CLASS "A" / REFLECTANCE 0.66 / EMITTANCE 0.84

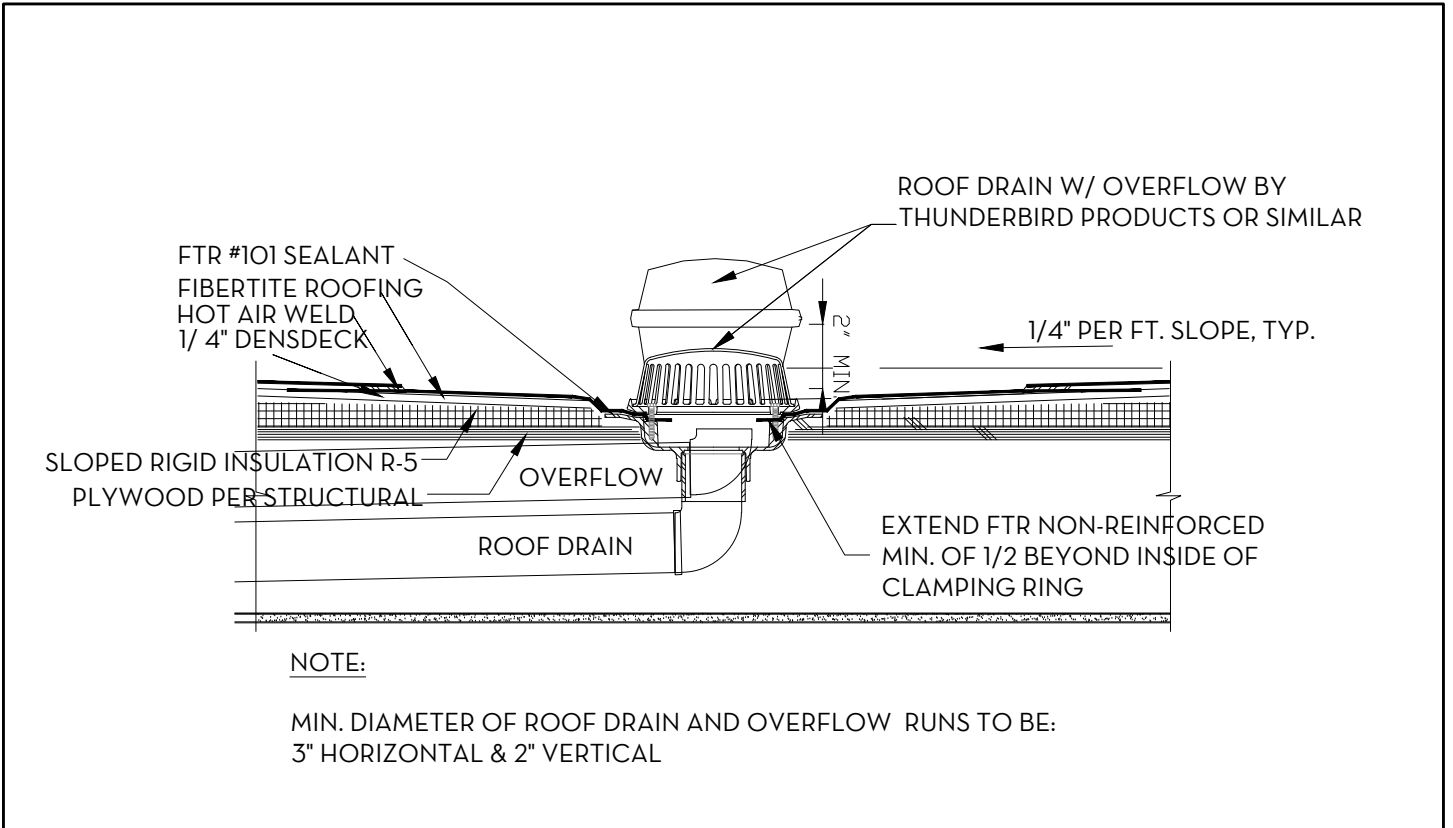
4	A	Combustible	Unlimited	1/2-inch-thick Georgia-Pacific Gypsum "DensDeck" with all joints staggered a minimum of 6 inches from plywood joints	(Optional) Polyisocyanurate, polystyrene, any thickness or combination	---	FiberTite, FiberTite-SM or FiberTite-XT
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- RF-2 SHEET METAL FASCIA - BRAKE METAL - 20 GA., MIN. PAINT DARK BRONZE TO MATCH WINDOW FRAME
- RF-3 SKYLIGHTS = VELUX GSM 2096

EXTERIOR CEILING:

EC-1 3 COAT PORTLAND CEMENT PLASTER SYSTEM W/ MESH ACRYLIC COATING BETWEEN BROWN & FINISH COATS; OVER 2 LAYERS OF BUILDING PAPER & WIRE LATH PER ASTM C 1063 - UNDERSIDE OF FLAT ROOF ASSEMBLY. LIGHT 20% SAND FINISH, INTEGRAL COLOR FINISH COAT;
 LA HABRA: DOVE GRAY 40

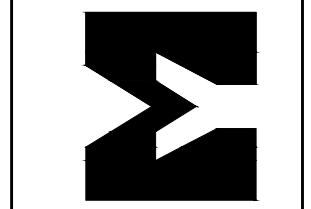
3 LEGEND



4 ROOF DRAIN DETAIL

SOLAR ZONE:

- THE MAIN SERVICE PANEL SHALL HAVE A MINIMUM BUSBAR RATING OF 200 AMPS
- "THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC'.
- A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT



REVISION	DATE	DESCRIPTION