



ARCHITECTURAL REVIEW COMMITTEE MEMORANDUM

DATE: OCTOBER 21, 2024

CONSENT

SUBJECT: A REQUEST BY DRP ENTERPRISES LLC, ON BEHALF OF THE PROPERTY OWNER, JESSE RHODES, FOR A MAJOR ARCHITECTURAL APPLICATION TO CONSTRUCT A 3,937-SQUARE FOOT SINGLE-FAMILY RESIDENCE ON A .30-ACRE LOT LOCATED AT 2355 MILO DRIVE, ZONE R-1-B, APN 504-161-008 (CASE NO. AR-2024-0062) (AR).

FROM: Department of Planning Services

PROJECT DESCRIPTION:

This is a request for approval of a Major Architectural Review Application to construct a 3,937-square foot single-family, three-bed, three-bath residence on a .30- acre hillside lot. The dwelling is contemporary in its style and the building pad is stepped in response to the topography of the lot.

RECOMMENDATION:

That the Architectural Review Committee approve the application, subject to conditions.

BACKGROUND INFORMATION:

Over the past several years, four applications were submitted and approved for the development of a single-family residence on the subject site; however, no project was ever constructed.

<i>Related Relevant City Actions by Planning, Fire, Building, etc...</i>	
9/11/06	Planning Commission approved an application to construct a 2,953-square foot dwelling. No building permit was issued.
11/13/13	Planning Commission approved an application to construct a 4,537-square foot dwelling. No building permit was issued.
11/02/2020	Architectural Advisory Committee approved a 2,390-square foot single-family residence.
11/18/2020	Planning Commission approved a 2,390-square foot single-family residence.

<i>Neighborhood Meeting/Neighborhood Notice</i>	
08/15/24	Notice mailed by staff to adjacent property owners notifying them that the subject application had been filed with the Department of Planning Services, in accordance with 93.13.00 of the Zoning Code.
10/10/24	Notice mailed by staff to adjacent property owners notifying them that the subject project would be reviewed by the Architectural Review Committee on October 21, 2024.
10/10/24	The surrounding neighborhood organizations within a mile of the site were sent notice that the proposed project would be reviewed by the Architectural Review Committee on October 21, 2024.

STAFF ANALYSIS:

<i>Site Area</i>	
Net Acres	.30 Acres

<i>General Plan and Zoning Designations</i>		
<i>General Plan Designation</i>	<i>Permitted Density</i>	<i>Compliance</i>
Estate Residential (ER)	0-2.0 DU/AC	Y
<i>Zoning Designation</i>		
R-1-B (Single-Family)		

Development Standards:

Pursuant to PSZC Section 92.01.03, the following development standards apply:

<i>Standard</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Setbacks			
• Front (East)	25 Feet	25 Feet	Y
• Side (North)	10 Feet	10 Feet	Y
• Side (South)	10 Feet	10 Feet	Y
• Rear (West)	15 Feet	15 Feet	Y
Max. Lot Coverage	35%	30%	Y
Max. Building Height	12 Feet @ setback, 18 Feet Max	17'-4" Feet	Y
Building Separation	6 Feet	N/A	N/A
Perimeter Wall Height			
• North	4.5 on PL	Existing to Remain	Y
• South	6 Feet	Existing to Remain	Y
• East	6 Feet	N/A	Y
• West	6 Feet	Existing to Remain	Y

<i>Standard</i>	<i>Required/ Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Parking	2 spaces (covered)	2 spaces (covered)	Y

Hillside Review Criteria:

PSZC Section 93.13.00(B)(4) requires that architectural review of hillside development shall consider the following criteria:

	<i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i>	<i>Compliance</i>
1.	<i>Rock and soil exposure;</i> The proposed dwelling is nestled into a naturalized desert setting where additional desert landscape and hardscape are proposed.	Y
2.	<i>Size of building pad;</i> At 3,937 square feet in size, the proposed single-story dwelling’s footprint fits harmoniously on the site, respecting the natural setting and consistent with the size of other buildings in the area. Additionally, the project site has a finished floor of 819, which is similar to the surrounding properties that have a finished floor height of 821 and 814.	Y
3.	<i>Design considerations, such as supporting stilts, colors and building arrangement;</i> The proposed home is contemporary in its design with neutral colors. Supporting stilts are not required or proposed.	Y
4.	<i>Screening of parking areas;</i> Parking is proposed within an attached two-car garage, which faces east and is visible from the public right-of-way. Screening is not a requirement.	Y
5.	<i>Landscaping plans;</i> The project proposes new drought-tolerant plant species planted organically throughout the site.	Y
6.	<i>Continuity with surrounding development;</i> Overall, the proposed home is complementary with the existing residential development in the surrounding area and maintains a similar scale with homes in the vicinity.	Y
7.	<i>Sensitivity to existing view corridors.</i>	Y

	<i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i>	<i>Compliance</i>
	<p>The project site is relatively flat in nature with no significant grade difference between adjacent neighbors. The proposed residence is single-story and has a maximum height of 17'-4". The proposed home complies with the height standard within the R-1-B zone and does not disrupt existing view corridors. The home is nestled into the site such that it respects the westerly views of the surrounding properties. The main dwelling unit has a finished floor of 818 feet. The garage steps down approximately four feet, with a finished floor at 814 feet.</p>	

Architectural Review Criteria and Findings:

PSZC Section 94.04.00(E) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
1.	<p><i>The architectural treatment is consistent on all four sides of the proposed building(s), unless otherwise approved by the ARC;</i></p> <p>The home is appropriately sited on the lot in a T-shaped layout, with the outdoor living areas oriented at the center of the site. The rooms wrap around the outdoor living area. This design allows the bedrooms to take advantage of the westerly view. The architectural treatment consists of floor to ceiling windows and large overhangs to protect from sun exposure on the southwest elevation. The project proposes consistent architectural treatment on all sides as exemplified by the repeated use of identical construction materials, rectangular form, and strong horizontal profile throughout.</p>	Y
2.	<p><i>The design of accessory structures, such as carports, cabanas, and similar accessory structures, shall be consistent with the form, materials and colors of the principal building(s), unless otherwise approved by the ARC;</i></p> <p>No accessory structures are proposed.</p>	N/A
3.	<p><i>The façade elements and fenestration are composed in a harmonious manner;</i></p> <p>The project proposes very simplistic façade elements and fenestration treatment to showcase the details and contrast of building materials and colors. The proposed primary elevation demonstrates consistent design treatment throughout as exemplified by the floor-to-ceiling glazed windows, repeated use of identical materials in different areas, and the retention of simplistic rectilinear form. Such architectural elements are properly scaled and positioned.</p>	Y
4.	<p><i>The proposed materials are consistent with the context of the site, adjacent buildings, and the desert environment;</i></p>	Y

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
	The proposed building materials consist of dark bronze aluminum metal window frames, clear glass, exposed concrete walls with concrete stone veneer and a plaster exterior wall finish.	
5.	<p><i>The proposed color scheme is appropriate to the desert environment and consistent with the site context;</i></p> <p>The project includes a light tan plaster wall with concrete stone veneer as an accent. The proposed colors are consistent with the environment and surrounding properties.</p>	Y
6.	<p><i>Shading devices and sun control elements, excluding landscape materials, are provided to address environmental conditions and solar orientation;</i></p> <p>The proposed project features an 8-foot covered patio along the south elevation that provides solar control to Bedroom 1 and the living/dining room area. An 18-inch overhang is proposed around the east and west elevations, specifically to provide solar control to the office, Bedroom 2 and Bedroom 3. These elements will reduce solar heat gain, overall.</p>	Y
7.	<p><i>The proposed landscape plan is consistent with the requirements of PSMC Chapter 8.60;</i></p> <p>The proposed plant palette generally consists of native plants and the plant materials that are included in the Lush and Efficient landscape gardening book, and there is no turf application proposed for this project. There is no irrigation information provided for the proposed landscape at this time; however, the irrigation plans will be submitted along with the landscape construction documents. In addition to the requirement for conformance with the City’s Water Efficient Landscape Ordinance, the landscape and irrigation plans are subject to review and approval by the Riverside County Agricultural Commissioner’s Office and Desert Water Agency (DWA). This is conditioned (PLN 1) to ensure that the project aligns with the City’s Water Efficient Landscape Ordinance. As conditioned, the proposed project meets this requirement.</p>	Y
8.	<p><i>The proposed landscape plan is consistent with all applicable zoning requirements, including any streetscape requirements, landscape buffer requirements, and screening requirements;</i></p> <p>The proposed landscape plan includes Little Leaf Palo Verde, Ocotillo, Beaked Yucca, Mexican Fence Post, Fish Hook Carrel Cactus, Regal Mist, Texas Ranger, Feathery Cassia, Century Plant, and Rosemary. The proposed vegetation is placed organically throughout the site. Overall, the proposed landscape plan is consistent with Chapter 8.60 of the Municipal Code.</p>	Y

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
9.	<i>The shading for pedestrian facilities on the subject site or abutting public right(s)-of-way is adequate;</i> There are no pedestrian facilities located on the subject site.	N/A
10.	<i>The proposed lighting plan is consistent with the requirements of PSZC Section 93.21.00, and the proposed lighting will not materially impact adjacent properties;</i> The project features a variety of low voltage lighting throughout the landscape area and along the pathways around the project site. All exterior lighting is conditioned to comply with outdoor lighting standards in Section 93.21.00 of the Zoning Code.	Y
11.	<i>Appropriateness of signage locations and dimensions relative to the building façade(s), or appropriateness of the site location for any freestanding signage, as may be warranted for the development type;</i> No signage is proposed at this time. If signage is proposed in the future, a sign permit will be required.	N/A
12.	<i>Screening is provided for mechanical equipment and service yards, so as to screen such facilities from view from public rights-of-way and abutting properties;</i> Mechanical equipment for the pool and home will be located within the rear and side yards, screened by the perimeter walls. Aside from the proposed solar panels, rooftop mounted mechanical equipment is not proposed.	Y
13.	<i>The proposed application is consistent with any adopted design standards of an applicable specific plan, planned development district, or other applicable adopted design standards and regulations.</i> The property is not located within any Specific Plan or Planned Development District.	N/A

ENVIRONMENTAL ANALYSIS:

The proposed single-family residence is considered a project pursuant to the California Environmental Quality Act (“CEQA”). The Architectural Review Committee has evaluated the Project pursuant to CEQA and determined it to be Categorical Exempt from further analysis under CEQA Guidelines Section 15303(a) (Class 3, New Construction or Conversion of Small Structures) and Section 15332 of the CEQA Guidelines (Class 32, Infill Development Project).

CONCLUSION:

Overall, staff found the project to be consistent with the architectural review criteria in Section 94.04.00(E) of the Zoning Code. Consequently, the architecture will integrate with the other contemporary architecture in the surrounding area. Therefore, staff

recommends the ARC to adopt the attached resolution approving the Major Architectural Review Application, subject to conditions.

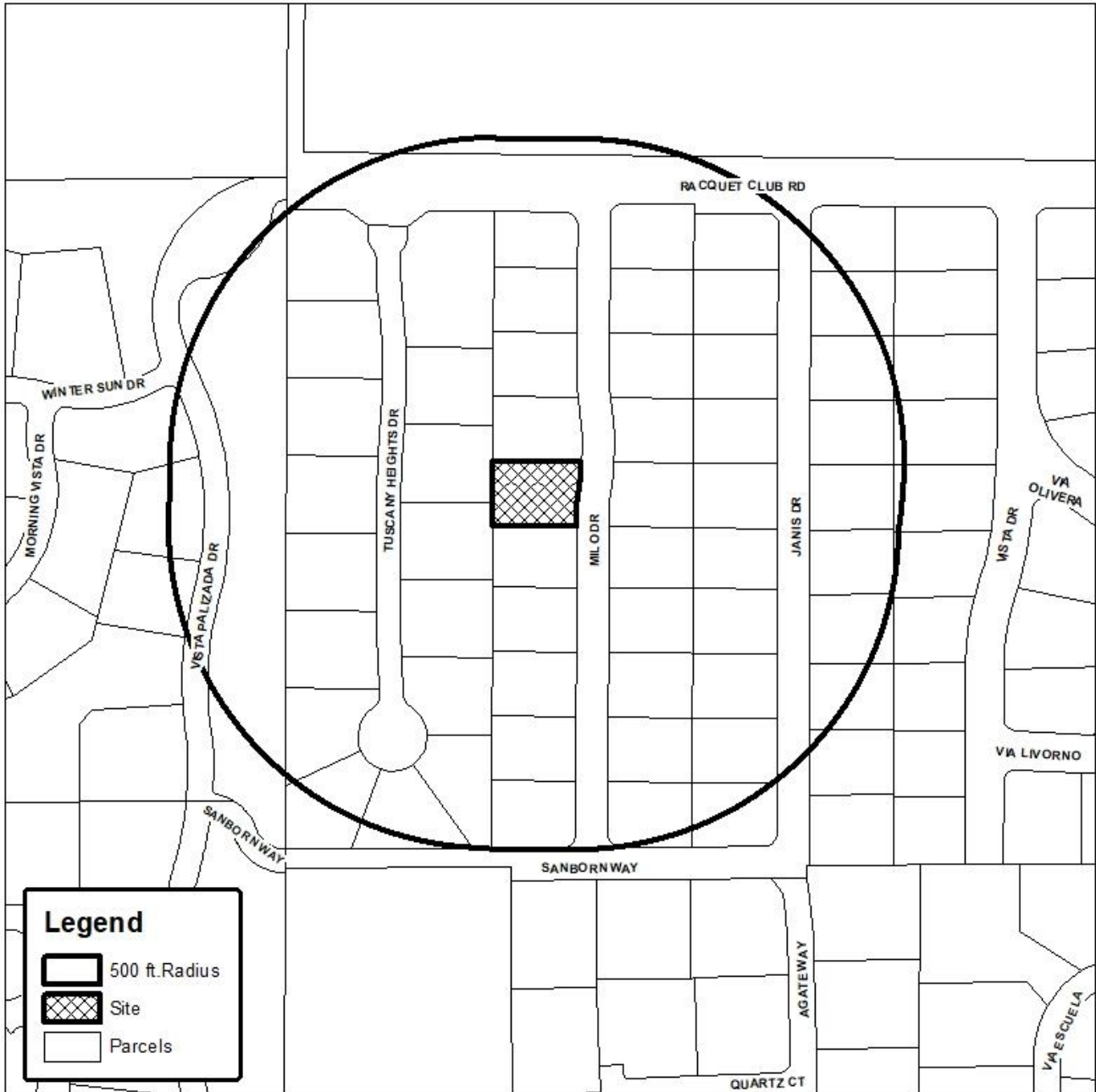
PREPARED BY:	Alex Rubalcava, Assistant Planner
REVIEWED BY:	Edward Robertson, Principal Planner
REVIEWED BY:	Christopher Hadwin, Director of Planning Services

ATTACHMENTS:

- A. Vicinity Map
- B. Draft Resolution
- C. Conditions of Approval
- D. Justification Letter
- E. Approved Project Plans



Department of Planning Services Vicinity Map



Legend

- 500 ft. Radius
- Site
- Parcels

CITY OF PALM SPRINGS
2365 N Milo Dr, Palm Springs, California, 92262.

RESOLUTION NO. _____

A RESOLUTION OF THE ARCHITECTURAL REVIEW COMMITTEE OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING A MAJOR ARCHITECTURAL APPLICATION FOR DEVELOPMENT OF A SINGLE-FAMILY RESIDENCE ON A 0.30-ACRE HILLSIDE PARCEL LOCATED AT 2355 MILO DRIVE, APN 504-161-008, CASE AR-2024-0062.

WHEREAS: Daniel Patneau, with DRP Enterprises, LLC, (“Applicant”) filed an application with the City, pursuant to the Palm Springs Zoning Code (“PSZC”) Sections 94.04.00 (Architectural Review) and 93.13.00 (Hillside Development), for construction of a single family residence located at 2355 Milo Drive (APN 504-161-008), (“the Project”); and

WHEREAS; On April 8, 2021, the City Council adopted Ordinance No. 2042, amending Section 94.04.00 of the PSZC to reassign review of Major Architectural Review (MAJ) applications from the City’s Planning Commission to the City’s Architectural Review Committee; and

WHEREAS; On August 15, 2024, City staff notified the owners of properties immediately adjacent to the project site of receipt of a hillside development application, pursuant to PSZC 93.13.00 (B,1,b) and on October 10, 2024, City staff notified the owners of properties immediately adjacent to the project site of the scheduling of an Architectural Review Committee meeting to consider the subject application, pursuant to PSZC 93.13.00 (B,1,c); and

WHEREAS; On October 21, 2024, the City’s Architectural Review Committee held a public meeting in accordance with applicable public law. At said meeting, the Architectural Review Committee carefully reviewed and considered all the evidence presented in connection with the project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE ARCHITECTURAL REVIEW COMMITTEE FINDS AND DETERMINES AS FOLLOWS:

Section 1: The proposed single-family residence is considered a project pursuant to the California Environmental Quality Act (“CEQA”). The Architectural Review Committee has evaluated the Project pursuant to CEQA and determined it to be Categorically Exempt from further analysis under CEQA Guidelines Section 15303(a) (Class 3, New Construction or Conversion of Small Structures).

Section 2: As demonstrated in the staff report, the project conforms to the guidelines and findings of PSZC Sections 93.13.00 (“Hillside development”) and 94.04.00 (“Architectural Review”).

NOW, THEREFORE, BE IT RESOLVED THAT based upon the foregoing, the Architectural Review Committee hereby approves Case AR-2024-0062 for the construction of a single-family residence on a hillside parcel located at 2355 Milo Drive, as described in the drawings and exhibits presented on this date, subject to the conditions of approval attached herein as Exhibit “A”.

ADOPTED this 21st day of October, 2024.

AYES:
NOES:
ABSENT:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

Chris Hadwin Director of Planning Services

RESOLUTION NO. _____

EXHIBIT A

AR-2024-0062

A Single-family dwelling on a hillside lot located at
2355 Milo Drive (APN (504-161-008)
October 21, 2024

CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

ADMINISTRATIVE CONDITIONS

- ADM 1. Project Description. This approval is for the project described per Case AR-2024-0062; except as modified with the conditions below;
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, including site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Planning Division except as modified by the conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner/applicant shall defend, indemnify, and hold harmless the City of Palm Springs, its elected officials, agents, officers, and employees (“Indemnitees”) from any claim, action, or proceeding against the City of Palm Springs or any Indemnitee(s), arising, in any way, out of the activities authorized by this Land Use Permit. The City will promptly notify the applicant of any such claim, action, or proceeding and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City fails to promptly notify the applicant of any such claim, action or proceeding

or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the Indemnitees. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, parking areas, landscape, irrigation, lighting, walls in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. .
- ADM 7. Time Limit on Approval. Approval of the Major Architectural Application (MAJ) shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.
- ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. Permits will not be issued until the appeal period has concluded.

ENVIRONMENTAL ASSESSMENT CONDITIONS

- ENV 1. Coachella Valley Multiple-Species Habitat Conservation Plan (CVMSHCP) Local Development Mitigation Fee (LDMF) required. All projects within the City of Palm Springs, not within the Agua Caliente Band of Cahuilla Indians reservation are subject to payment of the CVMSHCP LDMF prior to the issuance of certificate of occupancy.
- ENV 2. Notice of Exemption Filing Fee. The project is exempt from further evaluation pursuant to the California Environmental Quality Act (CEQA). The applicant is responsible for payment to the County of the electronic filing fee for the exemption determination with the County Clerk within two business days of the Commission's final action on the project. Coordinate this payment with the project planner.
- ENV 3. California Fish & Game Filing Fee. The project is required to pay a fish and game impact fee as defined in Section 711.4 of the California Fish and Game Code. The applicant is responsible for payment to the City of the CFG impact fee. Coordinate this payment with the project planner. The project may be eligible for exemption or refund of this fee by the California Department of Fish & Game. Applicants may apply for a refund by the CFG at www.dfg.ca.gov for more information.

- ENV 4. Cultural Resource Survey Required. Prior to any ground disturbing activity, including clearing and grubbing, installation of utilities, and/or any construction related excavation, an Archaeologist qualified according to the Secretary of the Interior's Standards and Guidelines, shall be employed to survey the area for the presence of cultural resources identifiable on the ground surface.
- ENV 5. Cultural Resource Site Monitoring. There is a possibility of buried cultural or Native American tribal resources on the site. A Native American Monitor shall be present during all ground-disturbing activities. (check for duplication in engineering conditions)
- a). A Native American Monitor(s) shall be present during all ground disturbing activities including clearing and grubbing, excavation, burial of utilities, planting of rooted plants, etc. Contact the Agua Caliente Band of Cahuilla Indian Cultural Office for additional information on the use and availability of Cultural Resource Monitors. Should buried cultural deposits be encountered, the Monitor shall contact the Director of Planning. After consultation the Director shall have the authority to halt destructive construction and shall notify a Qualified Archaeologist to further investigate the site. If necessary, the Qualified Archaeologist shall prepare a treatment plan for submission to the State Historic Preservation Officer and Agua Caliente Cultural Resource Coordinator for approval.
- b). Two copies of any cultural resource documentation generated in connection with this project, including reports of investigations, record search results and site records/updates shall be forwarded to the Tribal Planning, Building, and Engineering Department and one copy to the City Planning Department prior to final inspection.

PLANNING DEPARTMENT CONDITIONS

- PLN 1. Outdoor Lighting Conformance. Exterior lighting plans, including a photometric site plan showing the project's conformance with Section 93.21.00 Outdoor Lighting Standards of the Palm Springs Zoning ordinance, shall be submitted for approval by the Department of Planning prior to issuance of a building permit. Manufacturer's cut sheets of all exterior lighting on the building and in the landscaping shall be included. If lights are proposed to be mounted on buildings, down-lights shall be utilized. No lighting of hillsides is permitted.
- PLN 2. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall

also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.

- PLN 3. Flat Roof Requirements. Roof materials on flat roofs (less than 2:12) must conform to California Title 24 thermal standards for "Cool Roofs". Such roofs must have a minimum initial thermal emittance of 0.75 or a minimum SRI of 64 and a three-year aged solar reflectance of 0.55 or greater. Only matte (non-specular) roofing is allowed in colors such as beige or tan.
- PLN 4. Screen Roof-mounted Equipment. All roof mounted mechanical equipment shall be screened per the requirements of Section 93.03.00 of the Zoning Ordinance.
- PLN 5. Surface Mounted Downspouts Prohibited. No exterior downspouts shall be permitted on any facade on the proposed building(s) that are visible from adjacent streets or residential and commercial areas.
- PLN 6. Pool Enclosure Approval Required. Details of fencing or walls around pools (material and color) and pool equipment areas shall be submitted for approval by the Planning Department prior to issuance of Building Permits.
- PLN 7. Exterior Alarms & Audio Systems. No sirens, outside paging or any type of signalization will be permitted, except approved alarm systems.
- PLN 8. Outside Storage Prohibited. No outside storage of any kind shall be permitted except as approved as a part of the proposed plan.
- PLN 9. Pad Elevations. Final building pad elevations shall not vary more than 12 inches above or below the pad elevation established by the approved preliminary grading plan and / or tentative map. Any deviations from this provision shall require approval by the Architectural Review Committee and/or the Planning Commission.

POLICE DEPARTMENT CONDITIONS

- POL 1. Developer shall comply with Section II of Chapter 8.04 "Building Security Codes" of the Palm Springs Municipal Code.

BUILDING DEPARTMENT CONDITIONS

- BLD 1. Prior to any construction on-site, all appropriate permits must be secured.

ENGINEERING DEPARTMENT CONDITIONS

APPLICATION FOR APPROVAL OF A SINGLE-FAMILY RESIDENCE LOCATED AT 2355 MILO DRIVE, (APN 504-161-008), SECTION 3, TOWNSHIP 4 S, RANGE 4 E, S.B.M.ENG. FILE NO. 4578.

The Engineering Services Department recommends that if this application is approved, such approval is subject to the following conditions being completed in compliance with City standards and ordinances.

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer.

All Grading Plans, Improvement Plans, Required Studies and Documents listed below, must be submitted to Engineering Services Department for review and approval.

STREETS

- ENG 1. The Engineering Services Department recommends deferral of off-site improvement items (identified as “**Deferred**”) at this time due to lack of full improvements in the immediate area. The owner shall execute a street improvement covenant agreeing to construct all required street improvements upon the request of the City of Palm Springs City Engineer at such time as deemed necessary. The covenant shall be executed and notarized by the property owner(s) prior to approval of the Grading Plan or issuance of grading or building permits. A current title report; or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. A covenant preparation fee in effect at the time that the covenant is submitted shall be paid by the applicant prior to issuance of any grading or building permits.
- ENG 2. Any improvements within the public right-of-way require a City of Palm Springs Encroachment Permit. All improvements are subject to inspection and a 24- to 48-hour inspection notification is required.
- ENG 3. **Provide proposed finish floor elevations of all proposed structures, existing structures on site, and all adjacent off-site structures. This information required prior to site plan approval.**

MILO DRIVE

- ENG 4. Construct a driveway approach in accordance with City of Palm Springs Standard Drawing No. 201A.
- ENG 5. Construct a 5 feet wide sidewalk behind the curb along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 210. **Deferred.**
- ENG 6. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

SANITARY SEWER

- ENG 7. In accordance with City of Palm Springs Municipal Code 15.14.010, applicant shall connect new building to a public sewer, unless an exemption is granted by the Municipal Code, the City Engineer, or the City Manager. Because the sewer mainline along the Racquet Club Road centerline, is within 500 feet of the subject parcel, the applicant shall extend a public sewer mainline in Milo Drive to connect to the public sewer system.
- ENG 8. Construct an 8-inch V.C.P. sewer main south along Milo Drive located 5 feet from centerline from the existing manhole located at the intersection of Racquet Club Road and Milo Drive, or as required by the City Engineer. Use existing sewer plan on file (1D-1-54) with the Engineering Division and also in accordance with City of Palm Springs Standard Drawings #403 and #405. All sewer mains constructed by the applicant and to become part of the public sewer system shall be digitally video recorded by the City prior to acceptance of the sewer system for maintenance by the City. Any defects of the sewer main shall be removed, replaced, or repaired to the satisfaction of the City Engineer prior to acceptance.
- ENG 9. Applicant shall pay a sewer assessment fee of \$2,569.84 in accordance with the terms of the Racquet Club Road Sewer Construction Refund Agreement between the City of Palm Springs and the Pirozzi Family Trust Established November 30, 1992, Sewer Agreement No. 6253. The fee shall be paid to the City of Palm Springs prior to issuance of a building permit.
- ENG 10. Costs associated with design and construction of the off-site sewer extension may be reimbursed, pursuant to a Sewer Construction Refund Agreement approved by the City Council, in accordance with the policies established by Resolution 13773, and amended by Resolution 15975. Following completion and acceptance of the off-site sewer extension by the City Engineer, if reimbursement is requested in writing by the applicant, the applicant shall submit a formal request for preparation of a Sewer Construction Refund Agreement and a \$2,500 deposit for City staff time associated with the preparation of the Sewer Construction Refund Agreement, including City Attorney fees. The applicant shall be responsible for payment of all associated staff time and expenses necessary in the preparation and processing of the Sewer Construction Refund Agreement with the City Council, and shall submit additional deposits as necessary when requested by the City, which are included in the amount that may be reimbursed to the applicant through the Sewer Construction Refund Agreement. The Sewer Construction Refund Agreement is subject to the City Council's review and approval at a Public Hearing, and its approval is not guaranteed nor implied by this condition.

ENG 11. Pay the Racquet Club Road sewer line extension area fee of \$26,469 per EDU in accordance with Resolution No. 24899. Fees shall be paid prior to issuance of a building permit.

ENG 12. Upon completion of the construction of public sewer lines, an as-built drawing in digital format shall be provided to the City as required by the City Engineer, if the sewer was not constructed in accordance with the original approved sewer plans.

GRADING

ENG 13. Submit a Precise Grading Plan prepared by a California licensed civil engineer to the Engineering Services Department for review and approval. The plan shall be approved by the City Engineer prior to grading permit issuance.

a. A Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Services Department for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's or its contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Services Department with current and valid Certificate(s) of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related "PM10" Dust Control issues, please contact AQMD at (866) 861-3878, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Services Department prior to approval of the Grading plan.

b. The first submittal of the Grading Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of Soils Report; and a copy of the associated Hydrology Study/Report.

ENG 14. Prior to approval of a Grading Plan (or issuance of a Grading Permit), the applicant shall obtain written approval to proceed with construction from the Agua Caliente Band of Cahuilla Indians, Tribal Historic Preservation Officer

or Tribal Archaeologist (a copy of the written approval must be provided to the City). The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at ACBCI-THPO@aguacaliente.net to determine their requirements, if any, associated with grading or other construction. The applicant is advised to contact the Tribal Historic Preservation Officer or Tribal Archaeologist as early as possible. If required, it is the responsibility of the applicant to coordinate scheduling of Tribal monitors during grading or other construction, and to arrange payment of any required fees associated with Tribal monitoring.

- ENG 15. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed after issuance of Grading Permit, and immediately prior to commencement of grading operations.
- ENG 16. Temporary dust control perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 17. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ENG 18. Drainage swales shall be provided adjacent to all curbs and sidewalks to keep nuisance water from entering the public streets, roadways, or gutters.
- ENG 19. In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of eight hundred dollars (\$800) (if there is disturbance of 5,000 square feet or more) at the time of issuance of grading permit for mitigation measures for erosion/blowsand relating to this property and development.
- ENG 20. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Services Department with the first submittal of a grading plan.
- ENG 21. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the

approved grading plan shall be certified by a California registered geotechnical or civil engineer, certifying that all grading was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be provided even though there may not be a grading plan for the project. Prior to issuance of Building Permits.

ENG 22. The applicant shall provide Grading Certification for all building (or structure) pads in conformance with the approved grading plan to the Engineering Services Department for review and approval prior to issuance of Building Permits.

ENG 23. In cooperation with the California Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (Revised - RIFA Form CA-1) prior to approval of the Grading Plan (if required). The California Department of Food and Agriculture office is located at 6819 East Gage Avenue, Commerce, CA 90040 (Phone (760) 782-3271, (562) 505-6415), Sonia.Oran@cdfa.ca.gov.

DRAINAGE

ENG 24. All stormwater runoff across the property shall be accepted and conveyed in a manner acceptable to the City Engineer and released to an approved drainage system. Stormwater runoff may not be released directly to the adjacent streets without first intercepting and treating with approved Best Management Practices (BMPs).

ENG 25. The project is subject to flood control and drainage implementation fees. The acreage drainage fee at the present time is \$7,746.89 per acre in accordance with Resolution No. 15189. Fees shall be paid prior to issuance of a building permit.

GENERAL

ENG 26. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115.

ENG 27. All proposed utility lines shall be installed underground.

- ENG 28. All existing utilities shall be shown on the improvement plans if required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.
- ENG 29. Upon approval of any improvement plan (if required) by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD drawing filetype) and PDF (Adobe Acrobat document filetype) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval by the City Engineer.
- ENG 30. The original improvement plans prepared for the proposed development and approved by the City Engineer (if required) shall be documented with record drawing "as-built" information and returned to the Engineering Services Department prior to issuance of a final certificate of occupancy. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.
- ENG 31. Nothing shall be constructed or planted in the corner cut-off area of any driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.
- ENG 32. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers installed in accordance with City of Palm Springs Standard Drawing No. 904.
- ENG 33. This property is subject to the Coachella Valley Multiple Species Habitat Conservation Plan Local Development Mitigation Fee (CVMSHCP-LDMF). The LDMF shall be paid prior to issuance of Building Permit.

TRAFFIC

- ENG 34. All damaged, destroyed, or modified pavement legends, traffic control devices, signing, striping, and streetlights, associated with the proposed development shall be replaced as required by the City Engineer prior to issuance of a Certificate of Occupancy.
- ENG 35. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices (CAMUTCD),

dated November 7, 2014, or subsequent editions in force at the time of construction.

- ENG 36. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

FIRE DEPARTMENT CONDITIONS

FID 1. These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire codes. Detailed plans are still required for review. Conditions are subject to final plan check and review.

FID 2. Fire Department Conditions were based on the 2022 California Fire Code as adopted by City of Palm Springs, Palm Springs Municipal Code, PSFD Appendix "T" Development Requirements. This building will require fire sprinklers.

FID 3. **Conditions of Approval** – "Conditions of Approval" received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.

FID 4. **Plans and Permits:**

Permits and Electronic scaled drawings are required for this project. Plan reviews can take up to 20 working days.

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer's technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall include all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supporting data, (calculations and manufacturers technical data sheets) including fire flow data, shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

- FID 5. **Access During/After Construction:** Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 24 feet and an unobstructed vertical clearance of not less than 13'-6". Fire Department access roads shall have an all-weather driving surface and support a minimum weight of 73,000 lbs.
- FID 6. **Private Fire Hydrants:** Additional private hydrants may be required.
- FID 7. **NFPA 13D Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13D, 2022 Editions, as modified by local ordinance.
- FID 8. **Residential Smoke Alarms Required:** Shall be interconnected so that operation of any smoke alarm or fire sprinkler flow switch causes all smoke alarms within the dwelling & guest house to sound and activate the exterior horn/strobe

END OF CONDITIONS



August 8, 2024

Palm Springs City Hall
Attn: Planning Dept.
3200 East Tahquitz Canyon Way
Palm Springs, CA 92262

RE: 2355 N Milo, Palm Springs, CA 92262

Subject: Justification letter for new SFR on lot, APN 504-161-008

Dear City Staff,

Per city requirement we are sending this letter for the new project description – the project is a new Single-Family Dwelling in the R1-B Hillside zone – All current setbacks, FAR and related zoning codes apply and are adhered to in the design. SFR use R3 – Occupancy, all height restrictions met, and no special variances or justifications are sought or required for the site to be developed.

The public disclosure form will not be needed for our client – they are not a public official or serving in any capacity.

Please let me know if you have any questions or concerns.

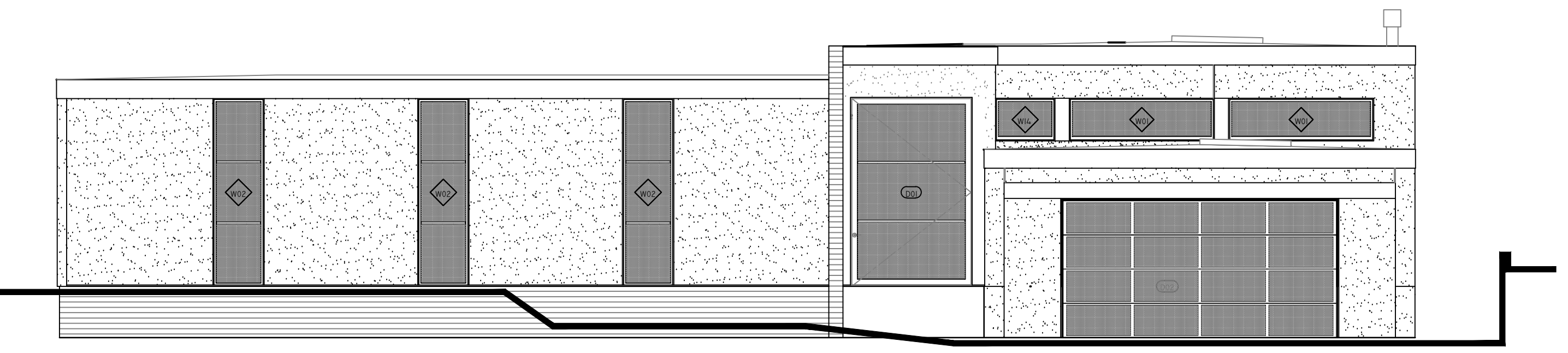
Sincerely,

D Patneau

Dan Patneau on behalf of the owner
Jesses Rhodes

2355 N. MILO DRIVE

PALM SPRINGS, CA 92262
RIVERSIDE COUNTY
PROJECT ID # DRP 2024-113-01
NEW SFR, POOL AND SITE WALLS
APN 504-161-008

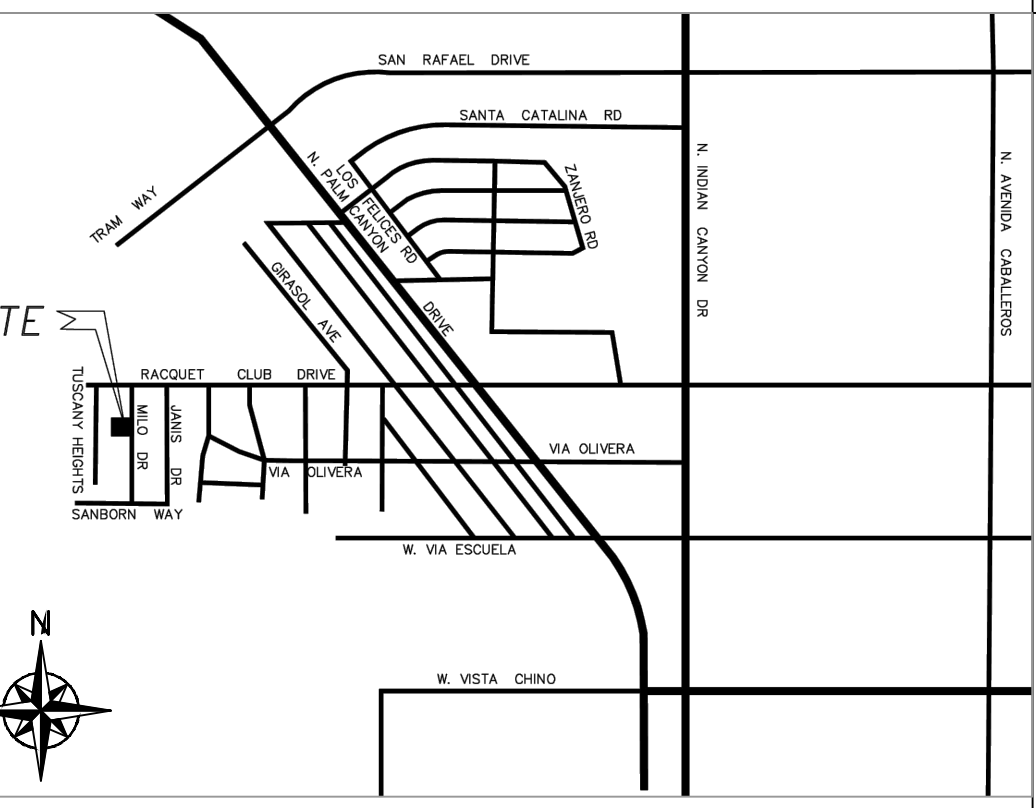


ELEVATION: FRONT
SCALE : NTS

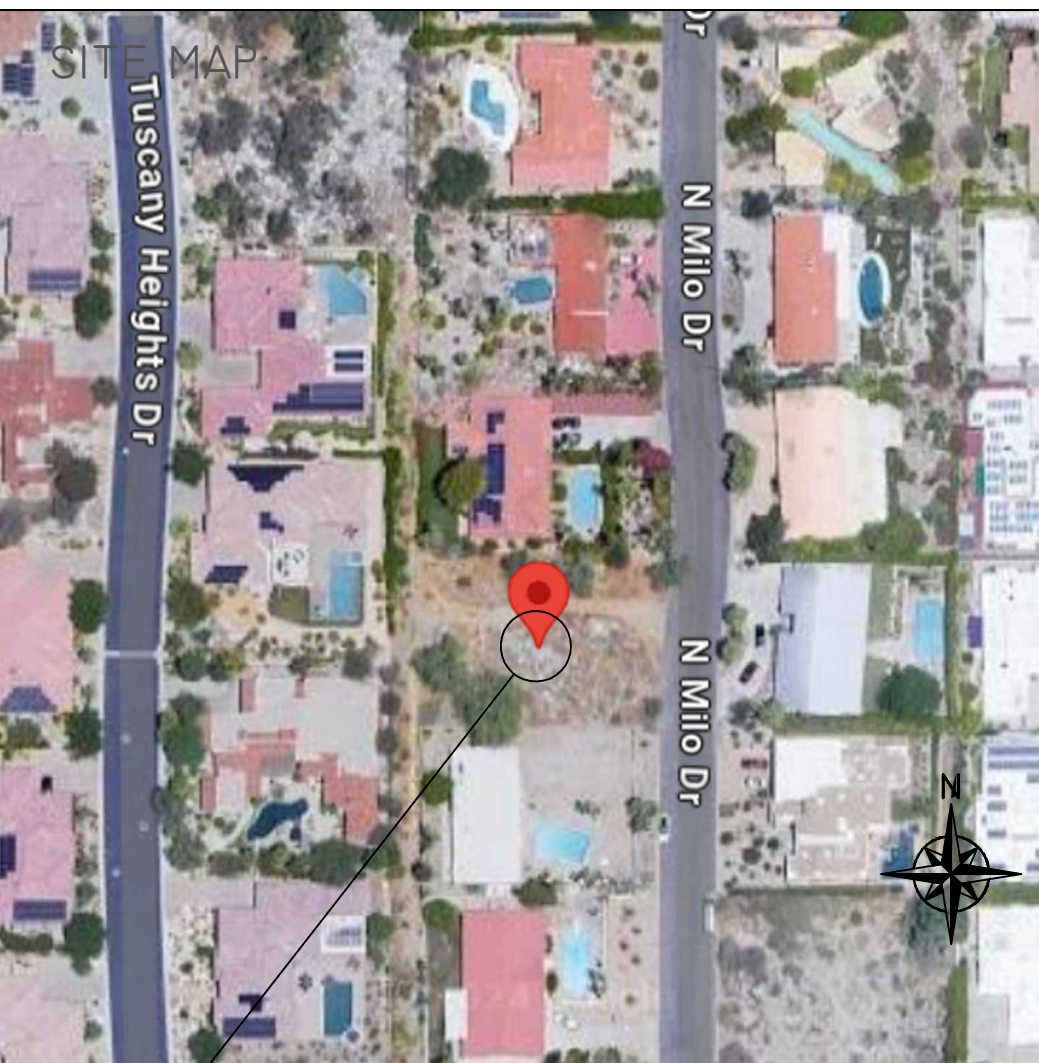
STATE MAP:



VICINITY MAP:



NOTE: COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2022 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED AND DATED COPIES OF THE APPROPRIATE CF1R, CF2R, AND CF3R FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR THE BUILDING INSPECTOR AS APPLICABLE. FINAL FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER.



SITE
LOCATION

PLOT DATE
09/23/2024

AREA TABULATION:			
PROPOSED BUILDING:	COND.	UNCOND.	TOTAL
LIVING AREA:	3,370 SF	0	3,370 SF
GARAGE:	0	567 SF	567 SF
TOTAL ENCLOSED AREA:			3,937 SF
COVERED PATIO AREA:	625 SF		
TOTAL ROOF AREA:			4,562 SF
LOT COVERAGE:			

PROJECT SITE
INFORMATIONS:

PROJECT ADDRESS:
2355 N. MILO DRIVE
PALM SPRINGS, CA 92262
LOT 16, TRACT NO. 2303, MB 43/83

OWNER:
JESSE RHODES
100 STEVENS AVE
PALM SPRINGS, CA 92262
(415) 860-8998

DESIGNER/ENGINEER
DRP ENTERPRISES LLC
DANIEL PATNEAUDE
PO BOX 4428
PALM SPRINGS, CA 92263
206-734-7765
DPATNEAUDE@DRPENTERPRISESLLC.ORG

BUILDING DATA AND
SUMMARY:

LOT SIZE: 13,254 S.F. (0.30 ACRES)

ZONING: R-1-B (HILLSIDE PER PSMC 93.13.00)

EXISTING USE:
VACANT/UNDEVELOPED LAND

BUILDING TYPE: SINGLE FAMILY RESIDENCE (R3 OCCUPANCY)

TYPE OF CONSTRUCTION: TYPE V-B

GROSS FLOOR AREA: 3,937 SF

FIRE SPRINKLERS: YES / PER SECTION R313.2

BUILDING HEIGHT / # OF STORIES: 17'-4" INCHES / ONE (SPLIT-LEVEL)

ASSESSOR'S PARCEL NUMBER: 504-161-008

LEGAL DESCRIPTION:
LOT 16, TRACT NO. 2303, MB 43/83

SHEET INDEX

ARCHITECTURAL PLANS

- T1.0 COVER SHEET – PERSPECTIVE VIEWS
- A1.0 BUILDING AND GENERAL NOTES
- A1.1 SITE PLANS
- A1.2 SITE SECTIONS
- A1.3 SITE DETAILS
- A2.0 FLOOR PLAN
- A2.1 REFLECTED CEILING PLAN
- A2.2 ROOF PLAN
- A3.0 EXTERIOR ELEVATIONS
- A4.0 BUILDING SECTIONS
- A4.1 BUILDING SECTIONS
- A4.2 BUILDING SECTIONS
- A5.0 DETAILS
- A6.0 DOOR AND WINDOW SCHEDULES

- GRD-1 GRADING SHEET 1
- GRD-2 GRADING SHEET 2
- LI-1 LANDSCAPE LIGHT SHEET
- L-1.0 LANDSCAPE CONCEPT PLANS

GENERAL NOTES

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS AND ALL 2016 CBC CODES. THE CONTRACTOR MUST ADHERE TO ALL SPECIFICATIONS FOR RESIDENTIAL CONSTRUCTION FOR THE STATE OF CALIFORNIA, CITY OF PALM SPRINGS, CA, 2022 CBC. SEE APPROPRIATE SHEETS FOR CORRELATED DESIGN CRITERIA AND STRUCTURAL DESIGN CRITERIA

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND FACILITIES WHETHER SHOWN OR NOT SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL EXISTING FACILITIES FROM DAMAGE DURING CONSTRUCTION.

3. CALL UNDERGROUND SERVICE ALERT TWO WORKING DAYS BEFORE ANY TRENCHING, ETC. AT 811. THE FOLLOWING AGENCIES SHALL BE CONTACTED BEFORE ANY CONSTRUCTION OR EXCAVATION BEGINS.

WATER - DESERT WATER AGENCY	(760) 323-4871
SEWER- CITY OF PALM SPRINGS	(760) 323-8166
GAS - SO CAL GAS	(877) 238-0092
ELECTRICAL - SCE	(800) 655-4555
UNDERGROUND SERVICE ALERT	811

4. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF THE REMOVAL OR RELOCATION OF ANY AND ALL EXISTING UTILITIES WITH THE RESPECTIVE UTILITY COMPANY. COST OF THIS COORDINATION IS TO BE INCLUDED IN THE BID PRICE FOR THE VARIOUS IMPROVEMENTS TO COMPLETE THE PROJECT.

5. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THESE REQUIREMENTS SHALL CONTINUALLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

6. ANY IMPROVEMENTS CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE SEPARATE PLAN APPROVAL, ENCROACHMENT PERMIT.

7. ANY WALLS, FENCES, STRUCTURES AND / OR APPURTENANCES ADJACENT TO THIS PROJECT SHALL BE PROTECTED IN PLACE. IF GRADING OPERATIONS DAMAGE OR ADVERSELY AFFECT SAID ITEMS IN ANY WAY, THE CONTRACTOR AND / OR DEVELOPER ARE RESPONSIBLE FOR WORKING OUT AN ACCEPTABLE SOLUTION TO THE SATISFACTION OF THE AFFECTED PROPERTY OWNER(S).

8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ADEQUATE COMPACTION HAS BEEN ATTAINED ON THE ENTIRE SITE, INCLUDING BUILDING PAD AREA.

9. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CALL ALL OF THE APPLICABLE CITY DEPARTMENTS AND RELATED UTILITIES BEFORE WORK IS PERFORMED. WORK PERFORMED WITHOUT CALLING FOR INSPECTION MAY BE REJECTED AND SHALL BE REMOVED SOLELY AT THE CONTRACTOR'S EXPENSE.

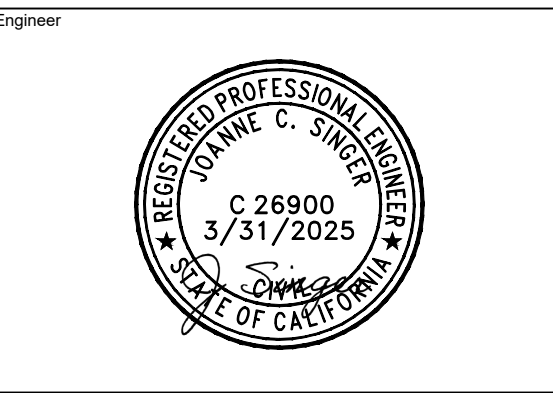
PLANS TO CONFORM TO 2022 CBC REGULATIONS

PROJECT SCOPE OF WORK:

NEW CONSTRUCTION OF A SPLIT-LEVEL 4-BEDROOM, 3-BATHROOM SINGLE FAMILY RESIDENCE WITH ATTACHED 2-CAR GARAGE, INCLUDING POOL, LANDSCAPE AND HARDSCAPE IMPROVEMENTS ON AN UNDEVELOPED PARCEL

IF THESE DRAWINGS ARE SMALLER THAN 36" x 24" THEY HAVE BEEN REDUCED.
CONTRACTOR SHALL VERIFY ALL DIMENSIONS.
THESE DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE REMAIN THE PROPERTY OF DRP ENTERPRISES LLC AND SHALL NOT BE USED FOR ANY OTHER PURPOSE OTHER THAN THOSE FOR WHICH THEY HAVE BEEN SUPPLIED OR PREPARED.
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1	NEW	_RAM	_DRP	07-10-24
1	PCC1	_RAM	_DRP	08-26-24

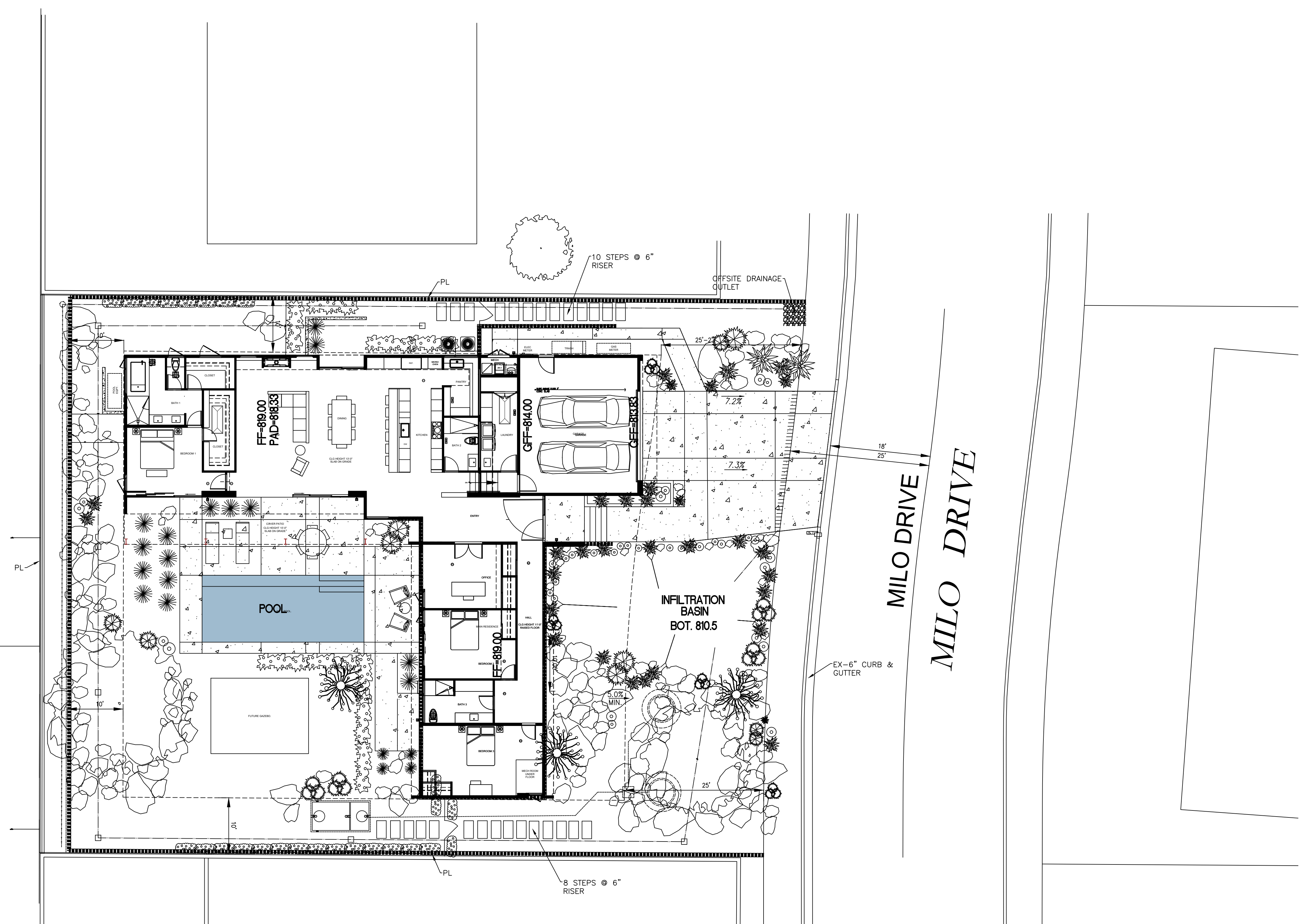


Project Owner
Jesse Rhodes
100 Stevens
Palm Springs, CA 92262
(415) 860-8998
jwrhodes10@aol.com

Project Name & Address
NEW RESIDENCE
SINGLE FAMILY
2355 N. MILO DRIVE
PALM SPRINGS, CA 92262
APN 504-161-008

Drawing
SCALE
NTS

Project Number & Sheet Number
T-1.0



- LEGEND:**
- CENTERLINE
 - - - PROPERTY LINE
 - - - EASEMENT
 - x - x - CHAIN LINK FENCE
 - □ - WOOD FENCE
 - ○ - WROUGHT IRON FENCE
 - - - SET BACKS
 - W - W - WATER SERVICE
 - SS - SS - SEWER SERVICE
 - E - E - ELECTRICAL SERVICE
 - G - G - PROPANE SERVICE
 - OHE - OHE - OVERHEAD ELECTRIC
 - - - DRAIN SWALE
 - - - DRAINAGE PATTERN
 - TREE
 - 369.03 FS SPOT ELEVATION
 - BOLLARD
 - FIRE HYDRANT
 - GAS VALVE
 - MISCELLANEOUS BOX
 - POWER POLE
 - SIGN
 - WM WATER METER
 - ⊗ WATER VALVE
 - CONCRETE
 - DIRT
 - POOL

CITY OF PALM SPRINGS COMMUNITY DEVELOPMENT

NEW SFR

SITE PLAN

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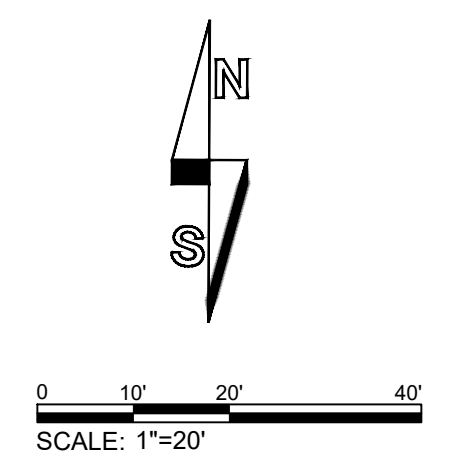
Project Owner: **DESERT VALLEY HOLDINGS LLC**
Jesse Rhodes
100 Stevens
Palm Springs, CA 92262
(415) 860-8998
jwrhodes10@aol.com

Project Name & Address:
NEW RESIDENCE
SINGLE FAMILY
2355 N. MILO DRIVE
PALM SPRINGS, CA 92262
APN 504-161-008

Drawing:
SCALE
 1"=20'

Project Number & Sheet Number:
A-1.1

SCALE - 1/8" = 1'-0"



NEW FLOOR PLAN

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1	PCC1	_RAM	_DRP	08-26-24

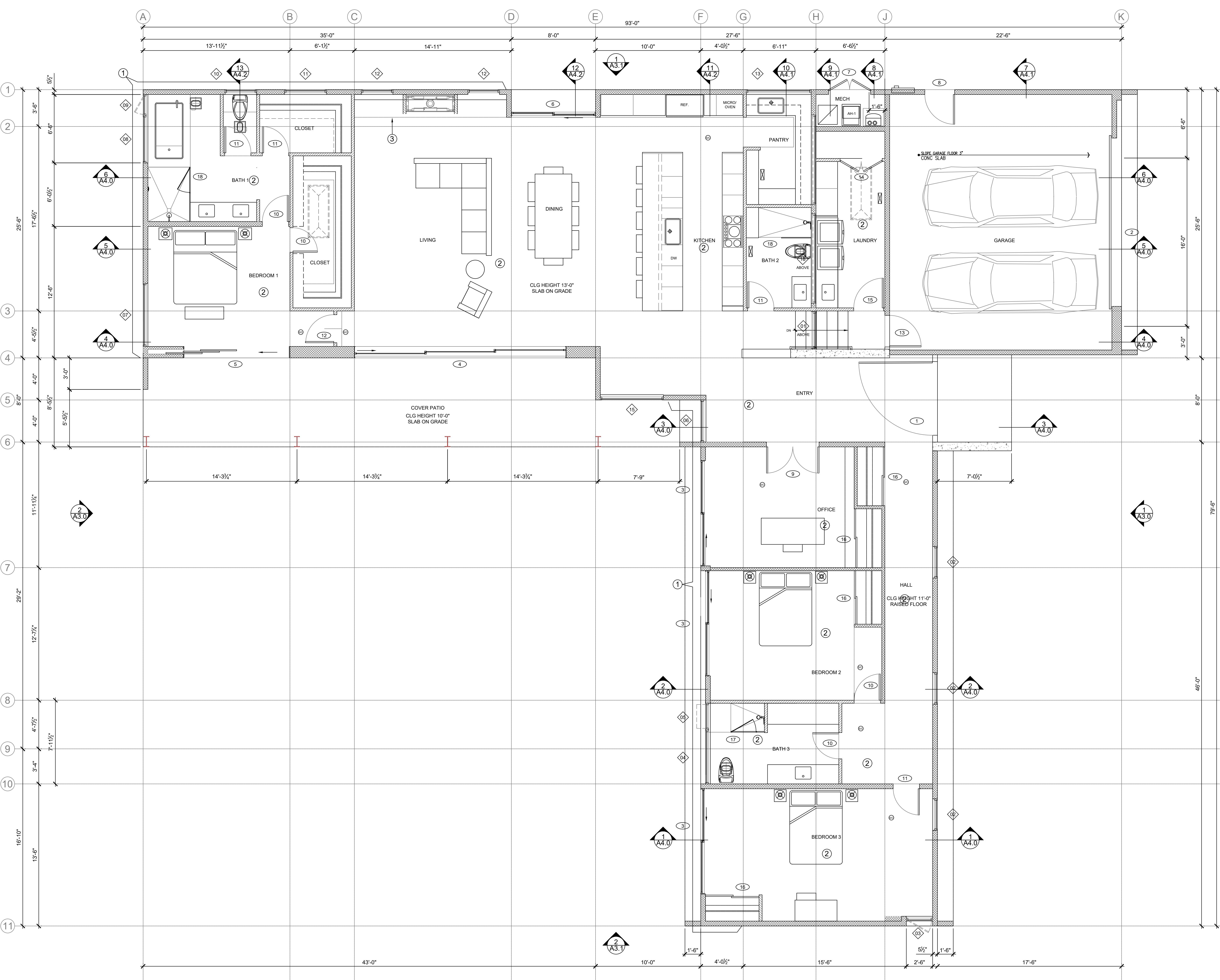


Project Owner
Jesse Rhodes
100 Stevens
Palm Springs, CA 92262
(415) 860-8998
jwrhodes10@aol.com

Project Name & Address
NEW RESIDENCE
SINGLE FAMILY
2355 N. MILO DRIVE
PALM SPRINGS, CA 92262
APN 504-161-008

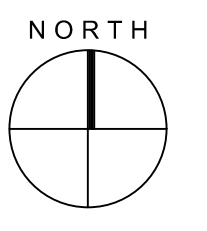
Drawing
SCALE
1/4" = 1'-0"

Project Number & Sheet Number
AA-2.0



- LEGEND:**
- = 10 WIDE CONC. WALL; 4" BOARD FORMED
 - = 2x6 WOOD STUDS @ 16" O.C. w/ R-21 BATT INSUL.
 - = 2x4 WOOD STUDS @ 16" O.C. w/ SOUND BATT INSUL.
 - = DOOR SYMBOL; SEE DOOR SCHEDULE
 - = WINDOW SYMBOL; SEE WINDOW SCHEDULE
 - = ELEVATION/SECTION SYM. DRAWING # / SHEET #

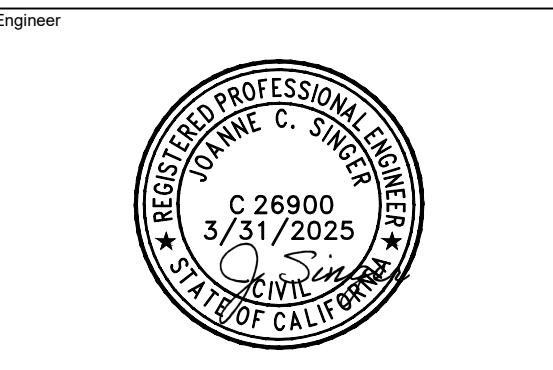
- NOTES:**
- ① 30" HIGH CONC. RETAINING WALL; 4" BOARD FORMED w/ 1.5" RIGID INSULATION BD. ON EXT. SIDE
 - ② EXPOSED CONC. SLAB; POLISHED
 - ③ GAS FIREPLACE
 - ④ DECORATIVE METAL SHADE PANEL



**NEW
ROOF PLAN**

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1	PCC1	RAM	DRP	08-26-24

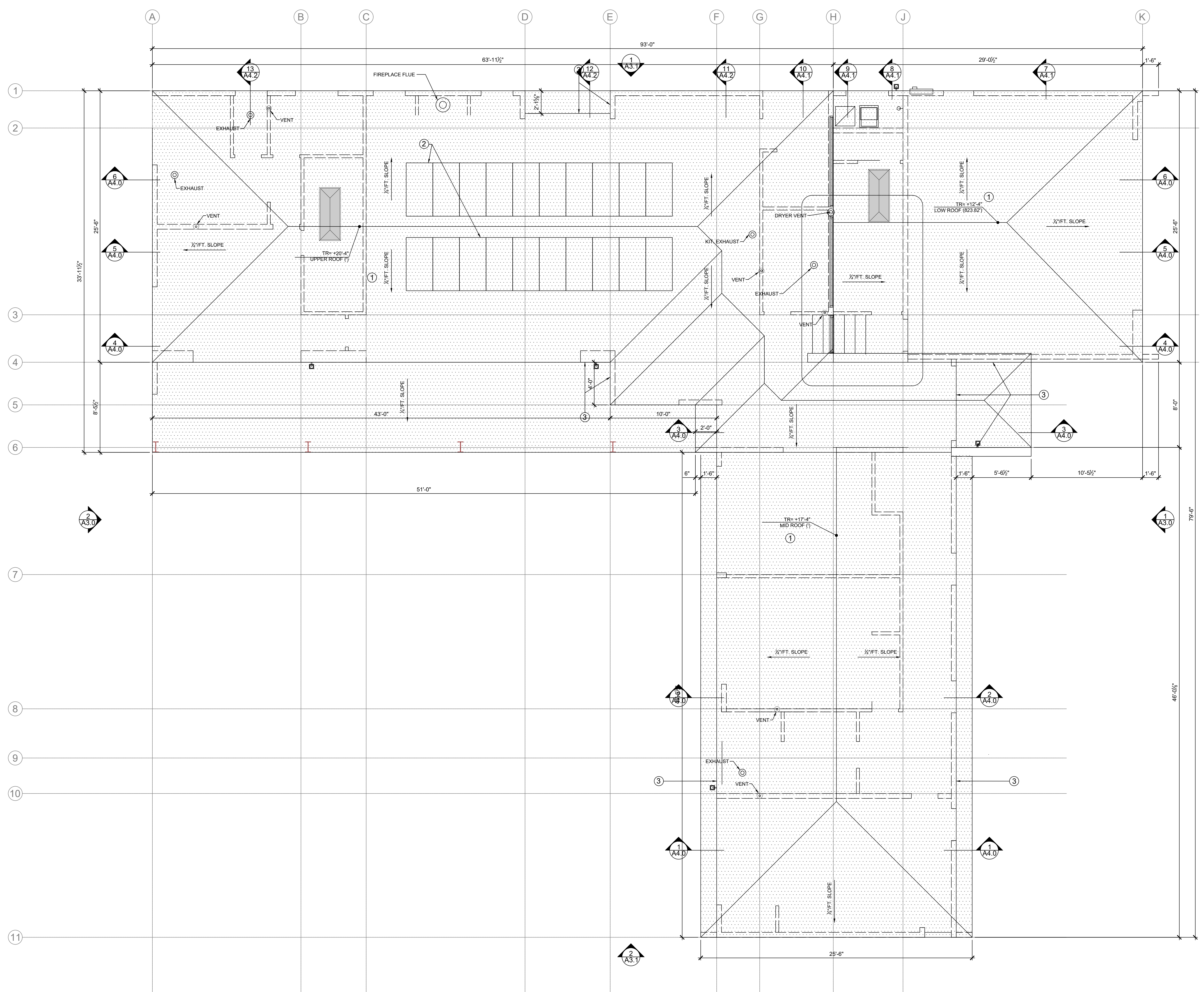


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(415) 860-8998
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Project Name & Address
NEW RESIDENCE
SINGLE FAMILY
2355 N. MILO DRIVE
PALM SPRINGS, CA 92262
APN 504-161-008

Drawing
SCALE
1/4" = 1'-0"

Project Number & Sheet Number
AA-2.2



- NOTES:**
- CLASS A ROOF SHALL BE ADHERED SINGLE-PLY MEMBRANE: 36 MIL. FIBER-TITE FB, OFF-WHITE COLOR DC-691, OVER TAPERED RIGID XPS FOAM INSULATION BD. (R-17, AVG. 2" THICK), OVER, 1/4" DENS-DECK, 1/4" SLOPE/FT. MIN
 - INDICATES AREA OF 7 KW SOLAR PHOTOVOLTAIC PANEL SYSTEM
 - INDICATES LINE OF BLDG BELOW
- ALL ROOF HEIGHTS INDICATED ARE FROM LOWER LEVEL FF, 614.00'

NEW
EXTERIOR
ELEVATION

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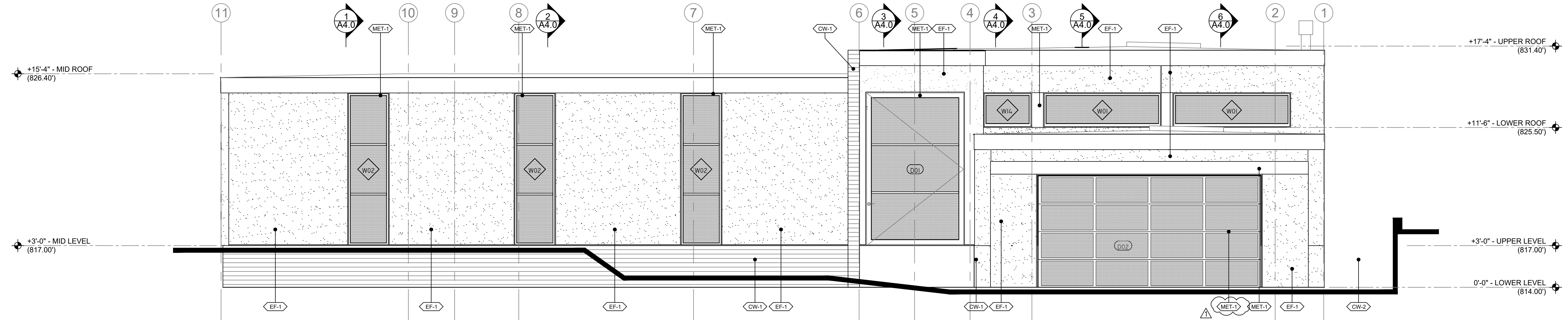


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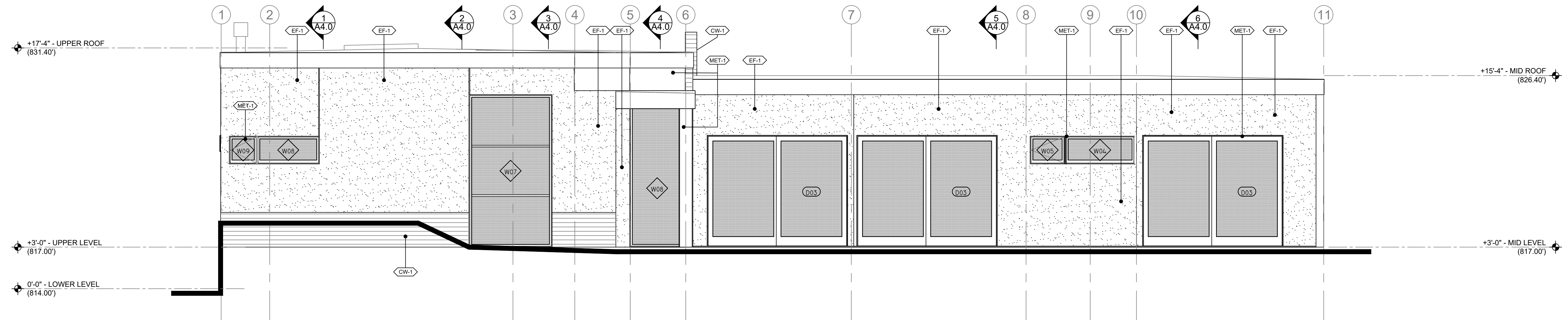
Project Name & Address
NEW RESIDENCE
SINGLE FAMILY
2355 N. MILO DRIVE
PALM SPRINGS, CA 92262
APN 504-161-008

Drawing
SCALE
1/4" = 1'-0"

Project Number & Sheet Number
AA-3.0

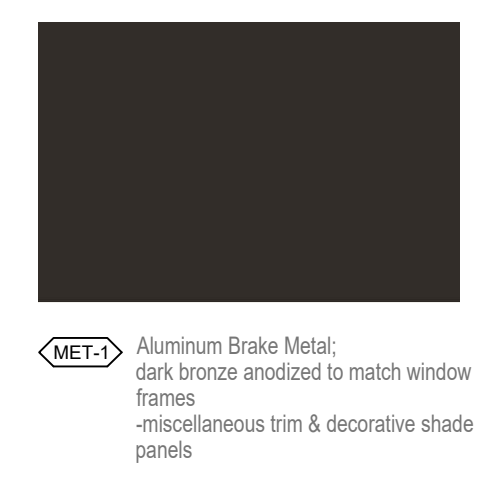


EAST ELEVATION (STREET VIEW)
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS:



MET-1 Aluminum Brake Metal;
dark bronze anodized to match window frames
-miscellaneous trim & decorative shade panels



GL-1 Exterior Windows;
1\"/>



CW-1 Exposed Concrete Wall;
Concrete Stone Veneer



EF-1 Exterior Wall finish, 3-coat Plaster;
10/20 float finish; \"/>

NOTES:

- CONC. STONE VENEER;
- CONC. PLANTER WALL;
4\"/>
- EXISTING CMU PROPERTY WALL
- DECORATIVE METAL SHADE PANEL
- CONC./STEEL MAILBOX
- CONC. RETAINING WALL;
4\"/>

NEW EXTERIOR ELEVATION

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		_RAM	_DRP	02-09-22
1	NEW	_RAM	_DRP	07-10-24
1	PCC1	_RAM	_DRP	08-26-24

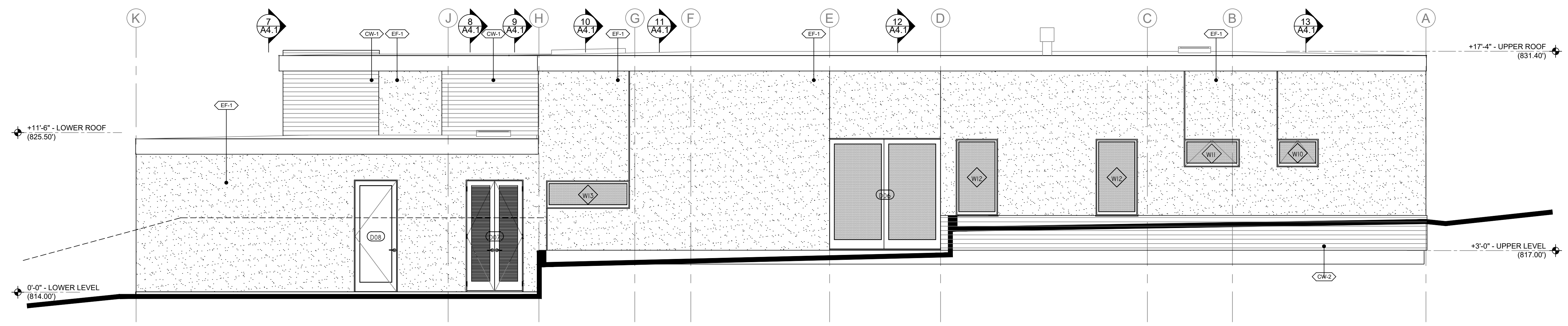


Project Owner
Jesse Rhodes
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jwrhodes10@aol.com

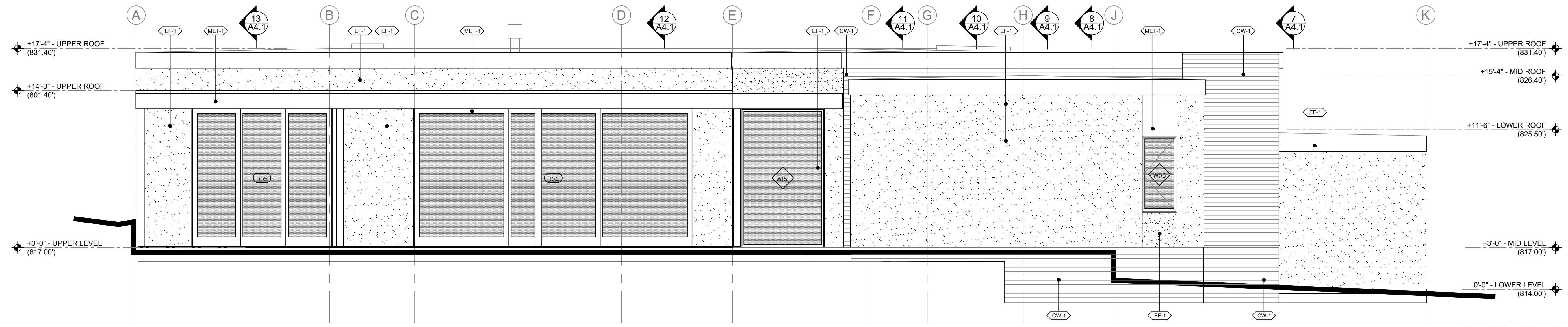
Project Name & Address
NEW RESIDENCE
SINGLE FAMILY
2355 N. MILO DRIVE
PALM SPRINGS, CA 92262
APN 504-161-008

Drawing
SCALE
1/4" = 1'-0"

Project Number & Sheet Number
AA-3.1



NORTH ELEVATION 2
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION 1
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS:



MET-1 Aluminum Brake Metal; dark bronze anodized to match window frames
-miscellaneous trim & decorative shade panels



GL-1 Exterior Windows; 1" dual glazing, clear glass, low-e w/ clear anodized aluminum frame



CW-1 Exposed Concrete Wall; Concrete Stone Veneer



EF-1 Exterior Wall finish, 3-coat Plaster; 16000 foot finish; "Disque" P-141 by Merlex -exterior building walls

NOTES:

- 1) CONC. STONE VENEER;
- 2) CONC. PLANTER WALL; 4" BOARD FORMED
- 3) EXISTING CMU PROPERTY WALL
- 4) DECORATIVE METAL SHADE PANEL
- 5) CONC./STEEL MAILBOX
- 6) CONC. RETAINING WALL; 4" BOARD FORMED

NEW
SECTIONS

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Project Name & Address

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SINGLE FAMILY
2355 N. MILO DRIVE
PALM SPRINGS, CA 92262
APN 504-161-008

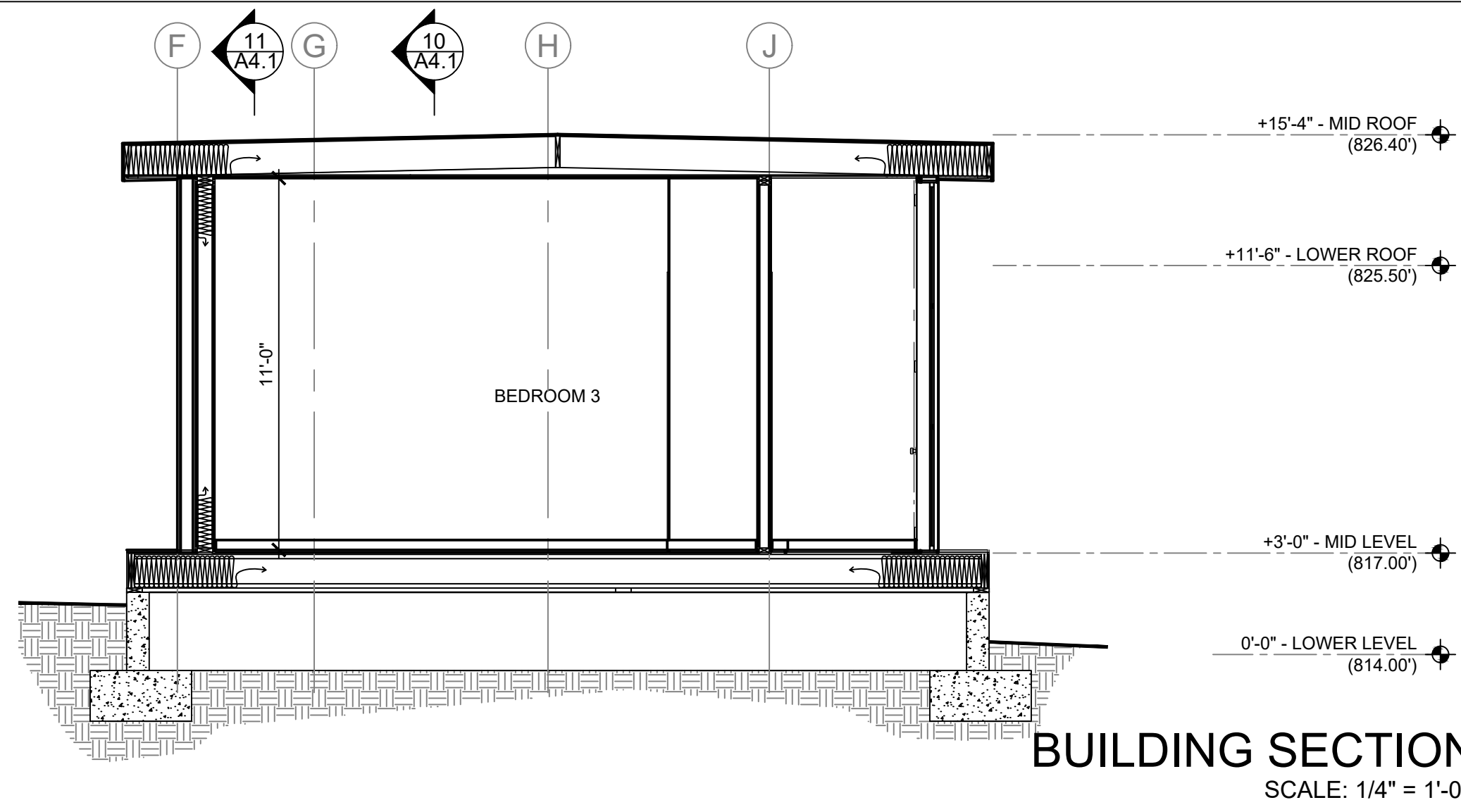
Drawing

SCALE

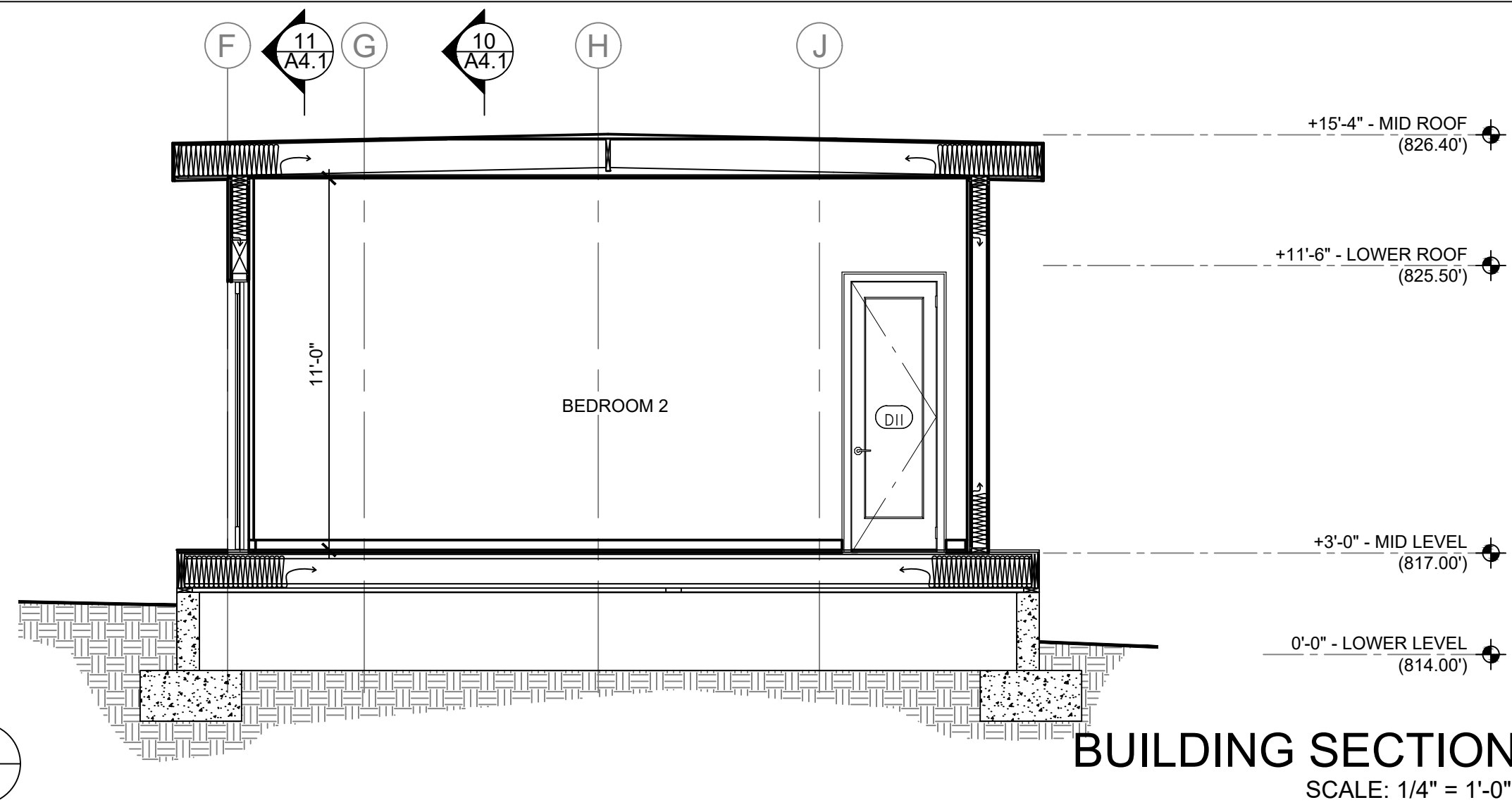
1/4" = 1'-0"

Project Number & Sheet Number

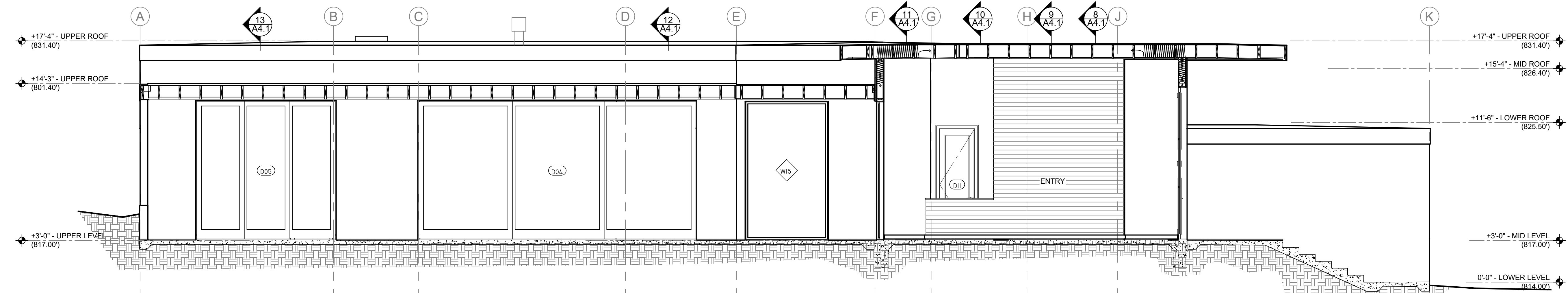
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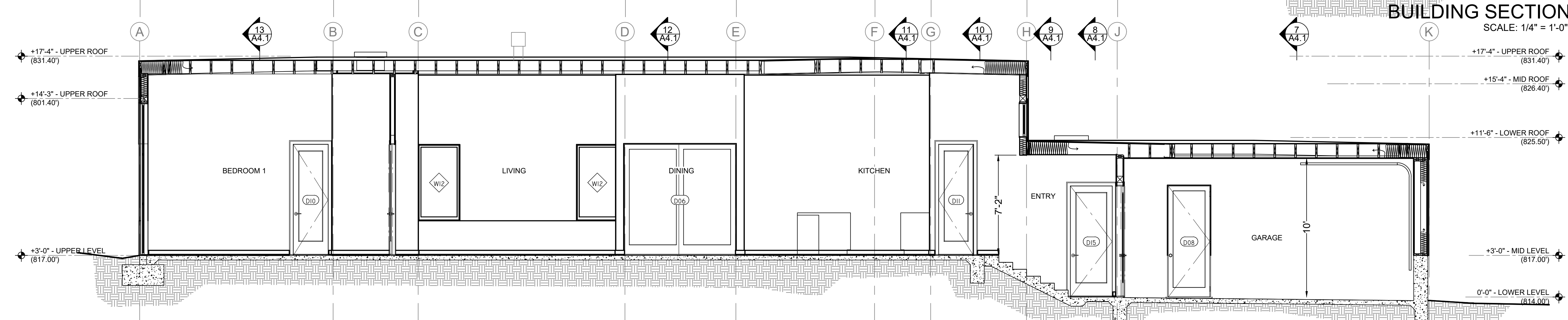
BUILDING SECTION 1
SCALE: 1/4" = 1'-0"



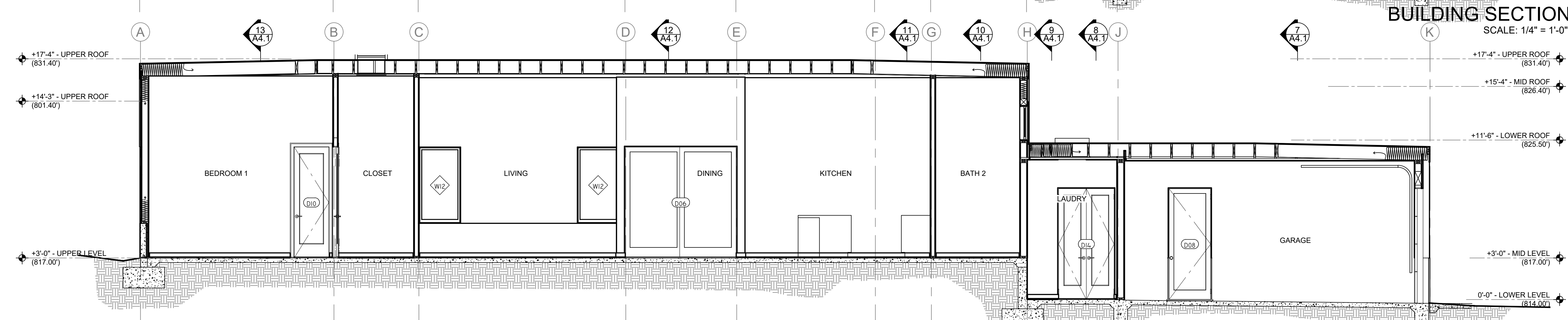
BUILDING SECTION 2
SCALE: 1/4" = 1'-0"



BUILDING SECTION 3
SCALE: 1/4" = 1'-0"



BUILDING SECTION 4
SCALE: 1/4" = 1'-0"



BUILDING SECTION 5
SCALE: 1/4" = 1'-0"

NEW SECTIONS

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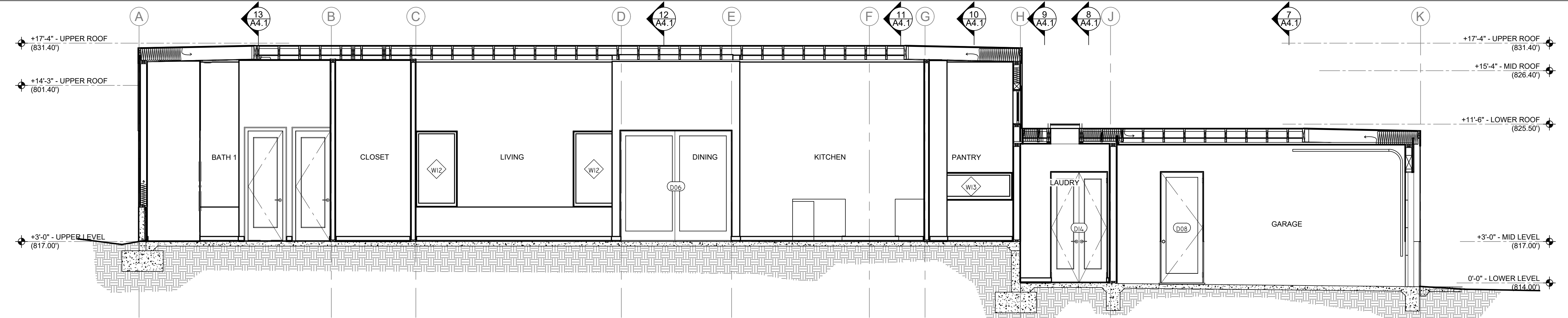


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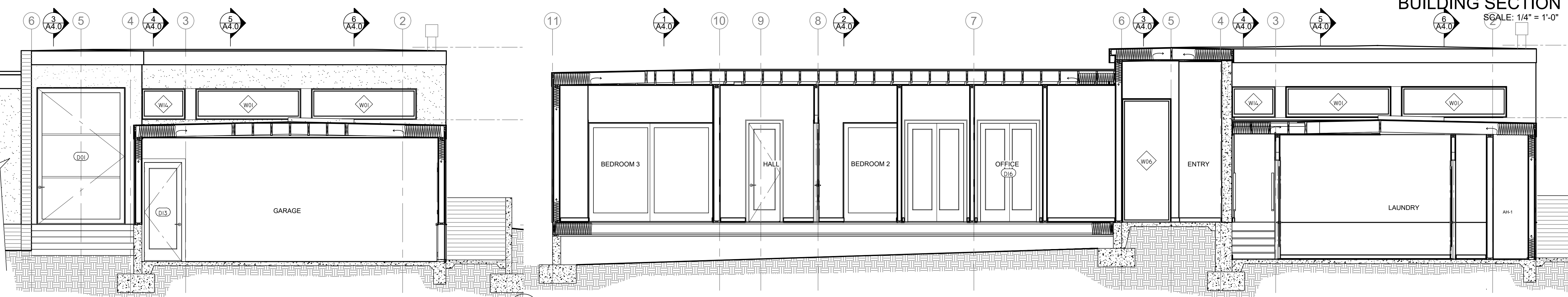
Project Name & Address
NEW RESIDENCE
SINGLE FAMILY
2355 N. MILO DRIVE
PALM SPRINGS, CA 92262
APN 504-161-008

Drawing
SCALE
1/4" = 1'-0"

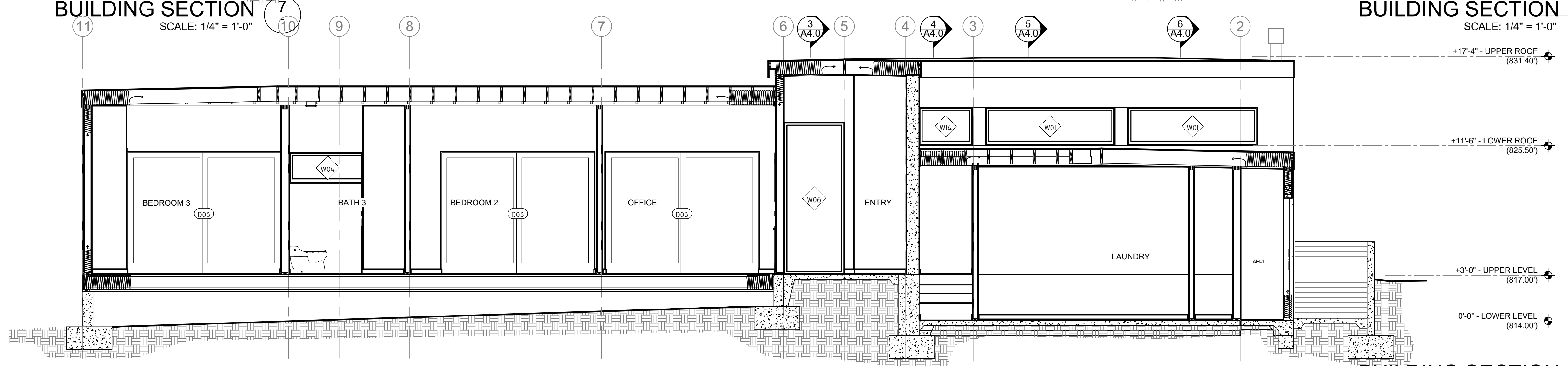
Project Number & Sheet Number
AA-4.1



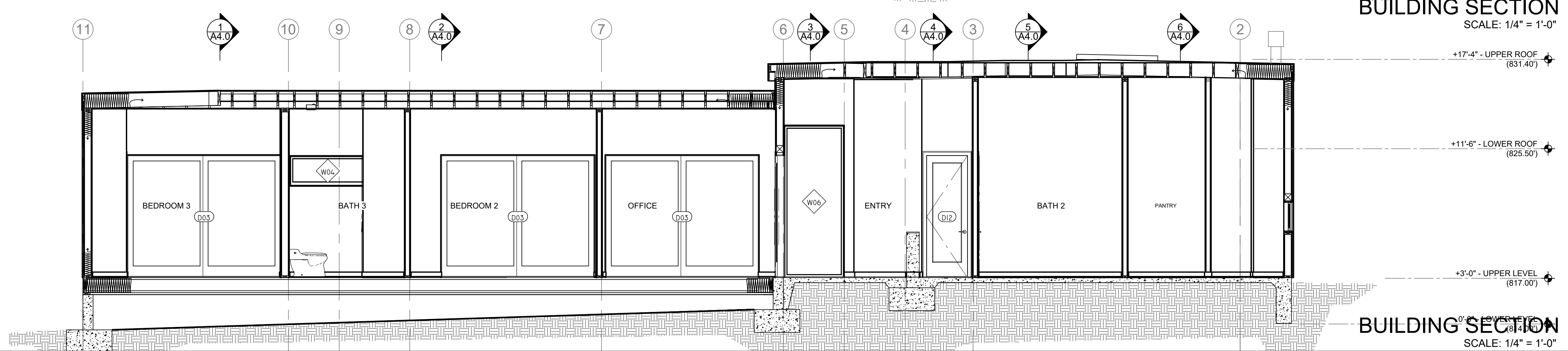
BUILDING SECTION 6
SCALE: 1/4" = 1'-0"



BUILDING SECTION 7
SCALE: 1/4" = 1'-0"

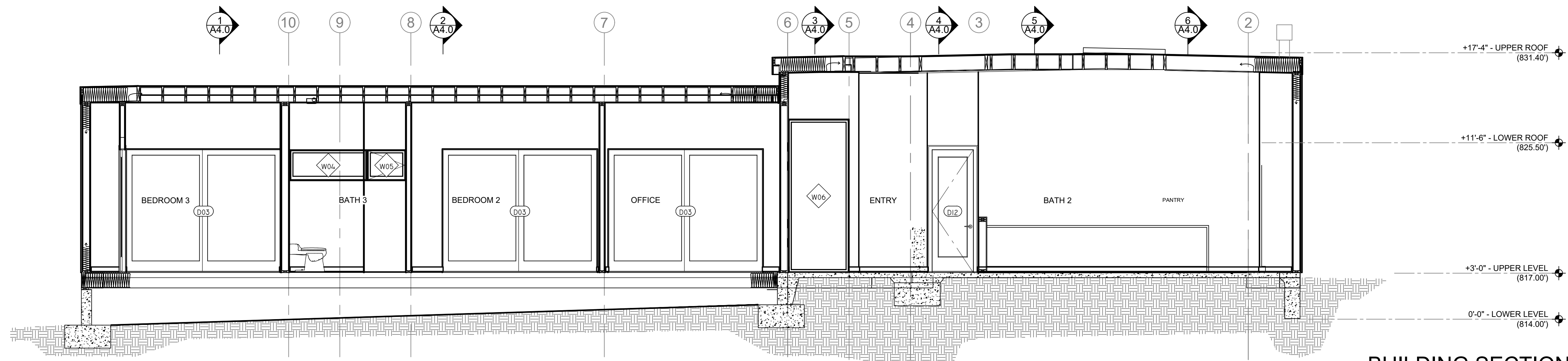


BUILDING SECTION 8
SCALE: 1/4" = 1'-0"

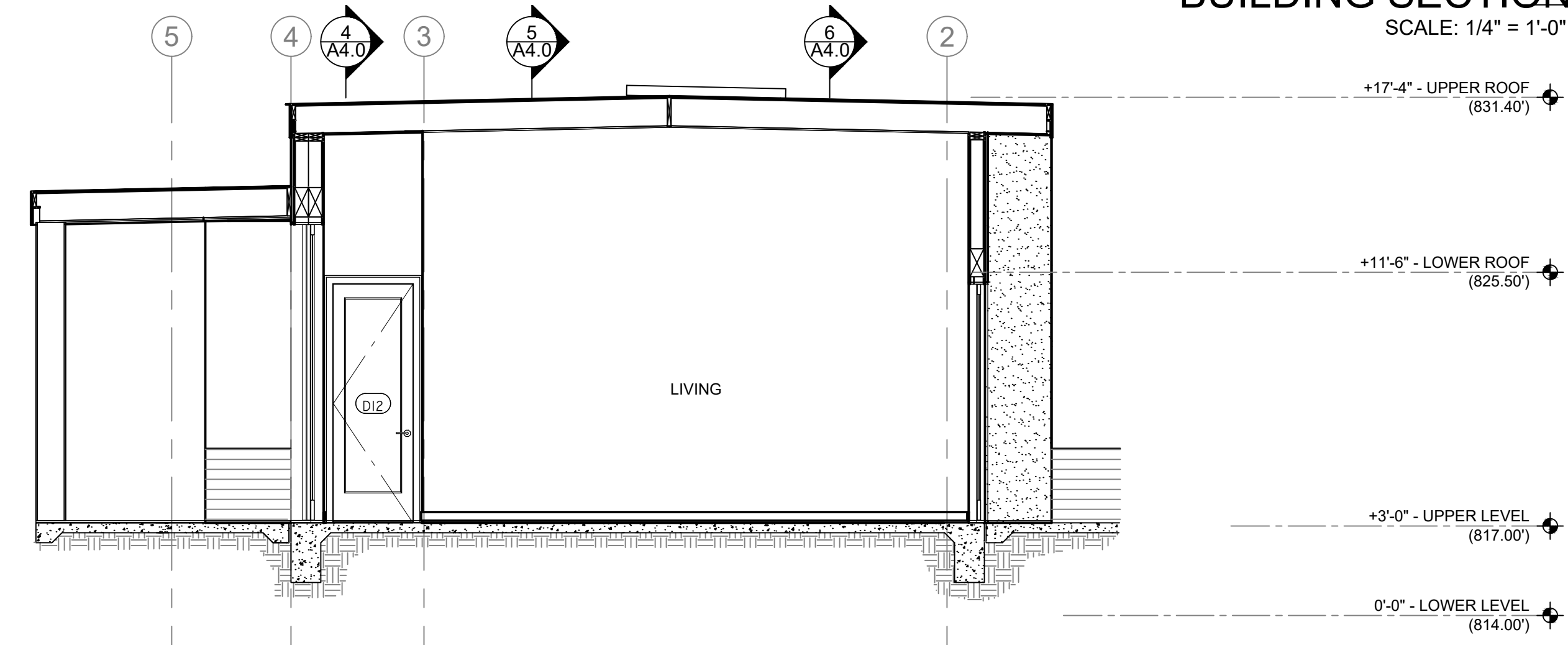


BUILDING SECTION 9
SCALE: 1/4" = 1'-0"

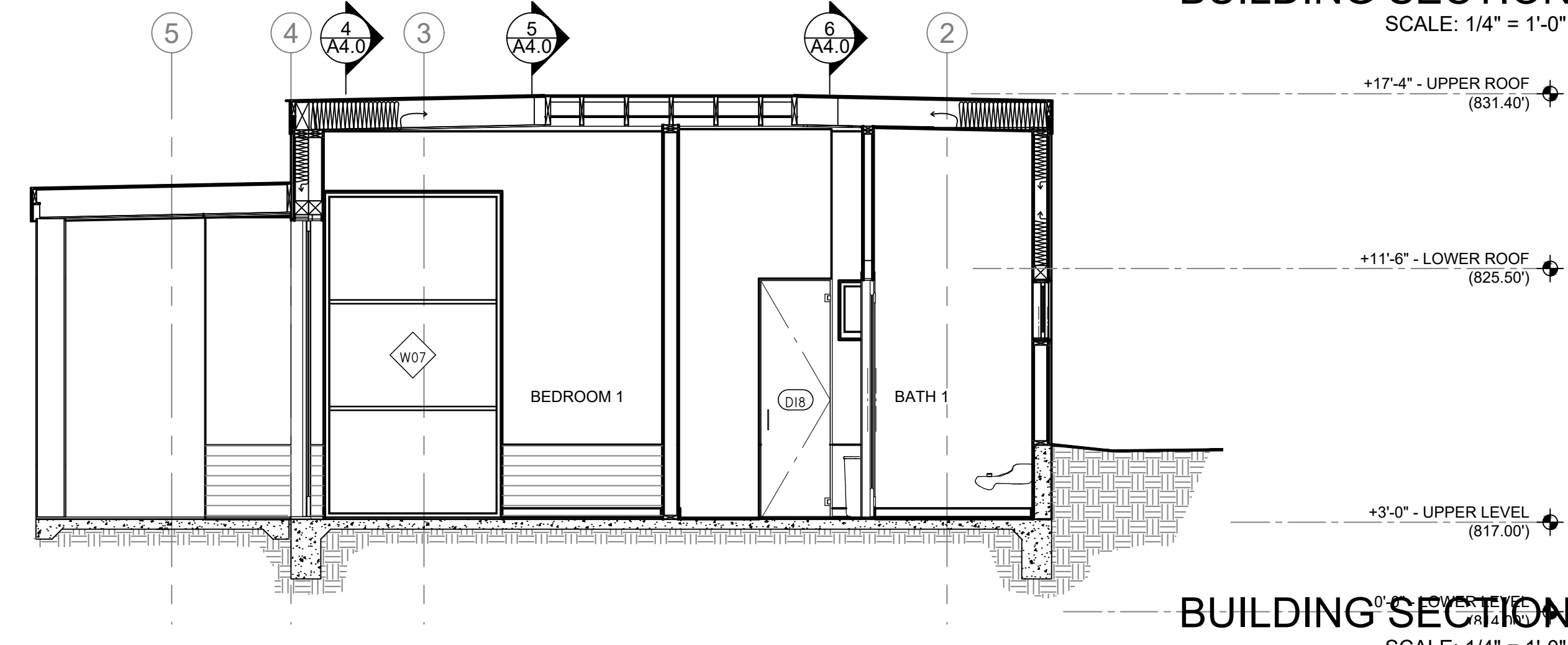
BUILDING SECTION 10
SCALE: 1/4" = 1'-0"



BUILDING SECTION 11
SCALE: 1/4" = 1'-0"



BUILDING SECTION 12
SCALE: 1/4" = 1'-0"



BUILDING SECTION 13
SCALE: 1/4" = 1'-0"

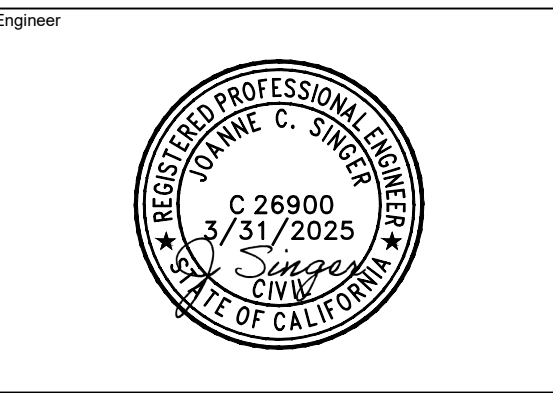
**CITY OF
PALM
SPRINGS
COMMUNITY
DEVELOPMENT**

NEW SFR

**NEW
SECTIONS**

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Project Name & Address

NEW RESIDENCE
SINGLE FAMILY
2355 N. MILO DRIVE
PALM SPRINGS, CA 92262
APN 504-161-008

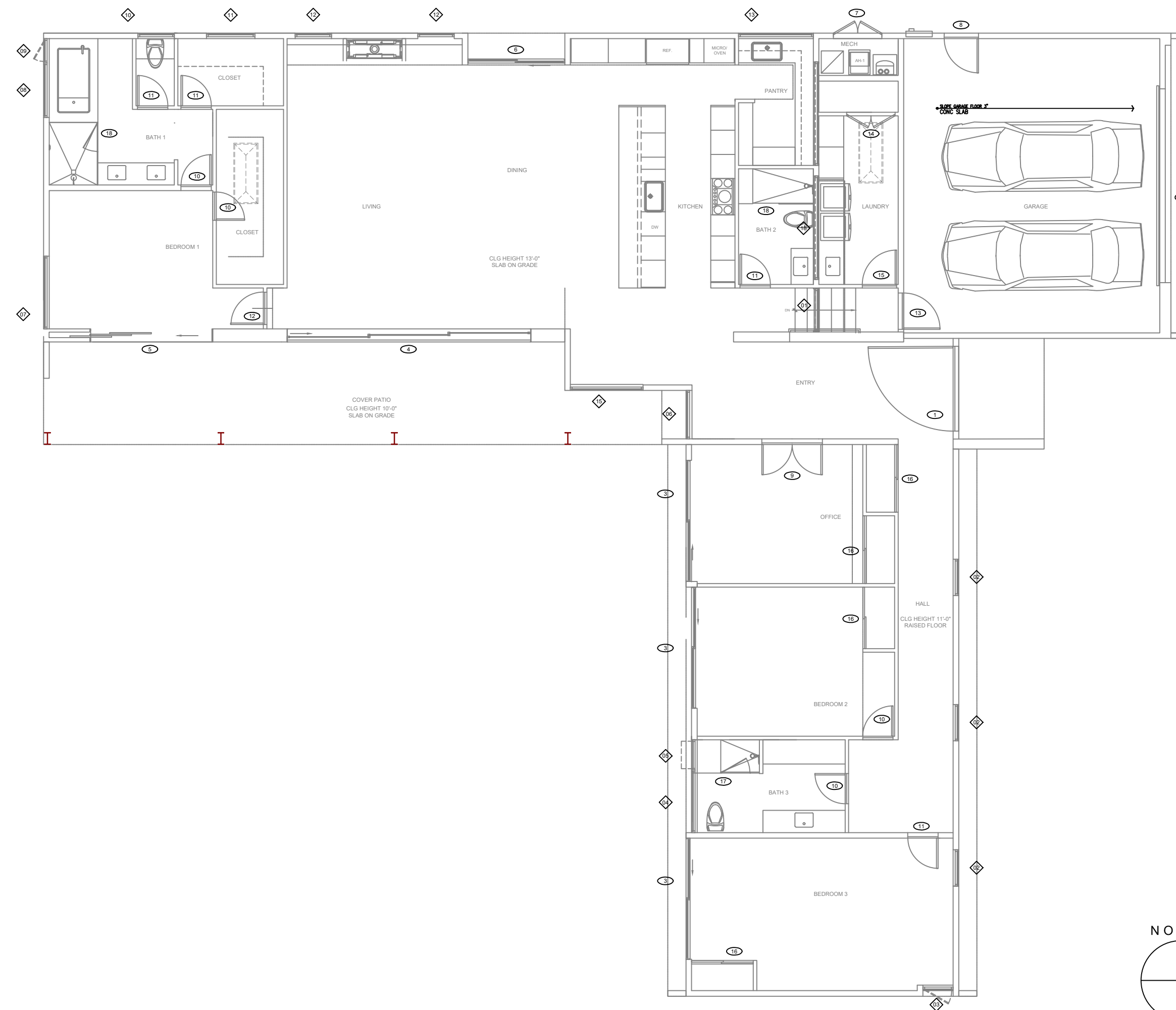
Drawing

SCALE

1/4" = 1'-0"

Project Number & Sheet Number

AA-4.2



DOOR & WINDOW REFERENCE PLAN
SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE											
NUMBER	TYPE	QTY	SIZE			WEIGHT	TEMPERATURE	FIBER	ZEM/NTC	COMMENTS	
			WIDTH	HEIGHT	AREA						
W01	FIXED GLASS	2	36" X 72"	36"	21.75						YES
W02	FIXED GLASS	5	50" X 54"	132"	55.8						YES
W03	SINGLE CASEMENT	1	24" X 54"	66"	15.75						
W04	FIXED GLASS	1	50" X 54"	26"	18.0						
W05	SINGLE CASEMENT	1	24" X 54"	26"	5.0						
W06	FIXED GLASS	2	50" X 54" X 1/4"	102"	59.58						YES
W07	FIXED GLASS	1	60" X 72"	120"	60.0						YES
W08	SINGLE CASEMENT	1	24" X 54"	26"	5.0						
W09	SINGLE CASEMENT	1	24" X 54"	26"	5.0						
W10	SINGLE AWNING	1	50" X 54"	26"	5.0						
W11	SINGLE AWNING	1	50" X 54"	26"	5.0						
W12	FIXED GLASS	2	50" X 54"	66"	18.0						
W13	FIXED GLASS	1	50" X 54"	26"	12.0						
W14	FIXED GLASS	1	50" X 54"	26"	8.75						YES
W15	FIXED GLASS	1	60" X 72"	120"	60.0						YES
TOTALS:											418.58

DOOR SCHEDULE											
NUMBER	TYPE	QTY	SIZE			WEIGHT	TEMPERATURE	FIBER	ZEM/NTC	COMMENTS	
			WIDTH	HEIGHT	AREA						
D01	HINGED	1	30" X 84"	30"	25.2						YES
D02	GARAGE	1	16'0" X 7'0"	112"	112"						
D03	SLIDER	1	30" X 84"	30"	25.2						YES
D04	SLIP-PANEL SLIDER	1	30" X 84"	30"	25.2						YES
D05	SLIP-PANEL SLIDER	1	30" X 84"	30"	25.2						YES
D06	SLIDER	1	30" X 84"	30"	25.2						YES
D07	DOUBLE HINGED	1	30" X 84"	30"	25.2						
D08	HINGED	1	30" X 84"	30"	25.2						
D09	DOUBLE HINGED	1	30" X 84"	30"	25.2						
D10	HINGED	1	30" X 84"	30"	25.2						
D11	HINGED	1	30" X 84"	30"	25.2						
D12	HINGED	1	30" X 84"	30"	25.2						
D13	HINGED	1	30" X 84"	30"	25.2						YES
D14	DOUBLE HINGED	1	30" X 84"	30"	25.2						
D15	HINGED	1	30" X 84"	30"	25.2						
D16	SLIDER	1	30" X 84"	30"	25.2						
D17	SLIDER	1	30" X 84"	30"	25.2						
D18	HINGED	1	30" X 84"	30"	25.2						YES
D19	SLIP-PANEL SLIDER	1	30" X 84"	30"	25.2						YES

WINDOW/SLIDING GLASS DOOR TYPES	
A	MILGARD ALUMINUM 920 SERIES, FIXED WINDOW CPD # MIL-A-169-_____ FRAME: THERMALLY IMPROVED ALUMINUM BLOCK FRAME STYLE DARK BRONZE ANODIZED FINISH GLAZING: 1" DUAL-GLAZED UNIT - AIR FILL 1/4" GLASS w/ SUNCOATMAX LOW-E COATING FOAM SPACER U-VALUE = 0.34 / SHGC = 0.25 / VT = 0.57
B	MILGARD ALUMINUM 920 SERIES, CASEMENT WINDOW (L) or (R) indicates hinge side as viewed from exterior CPD # MIL-A-169-_____ FRAME: THERMALLY IMPROVED ALUMINUM BLOCK FRAME STYLE DARK BRONZE ANODIZED FINISH GLAZING: 1" DUAL-GLAZED UNIT - AIR FILL 1/4" GLASS w/ SUNCOATMAX LOW-E COATING FOAM SPACER U-VALUE = 0.45 / SHGC = 0.21 / VT = 0.48
C	MILGARD ALUMINUM 920 SERIES, AWNING WINDOW CPD # MIL-A-169-_____ FRAME: THERMALLY IMPROVED ALUMINUM BLOCK FRAME STYLE DARK BRONZE ANODIZED FINISH GLAZING: 1" DUAL-GLAZED UNIT - AIR FILL 1/4" GLASS w/ SUNCOATMAX LOW-E COATING FOAM SPACER U-VALUE = 0.45 / SHGC = 0.21 / VT = 0.48
D	MILGARD ALUMINUM 420 SERIES, SLIDING PATIO DOOR X = operable panel, O = fixed panel as viewed from exterior CPD # MIL-A-169-_____ FRAME: THERMALLY IMPROVED ALUMINUM BLOCK FRAME STYLE DARK BRONZE ANODIZED FINISH GLAZING: 1" DUAL-GLAZED UNIT - AIR FILL 1/4" GLASS w/ SUNCOATMAX LOW-E COATING FOAM SPACER U-VALUE = 0.40 / SHGC = 0.24 / VT = 0.51

- WINDOW NOTES:**
1. MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH THE TITLE 24 ENERGY COMPLIANCE CALCULATIONS.
 2. WINDOW AREA CALCULATION SHOWN IN SCHEDULE INCLUDES FRAME AREA.
 3. GLAZING INSTALLER SHALL FIELD VERIFY ALL FRAMED OPENING DIMENSIONS PRIOR TO ORDERING MATERIALS.

DOOR TYPES	
EX1	1-3/4" EXTERIOR SOLID CORE WOOD DOOR; STAIN GRADE WOOD VENEER FINISH w/MATCHING FIXED TRANSOM PANEL ABOVE FULL GASKETING w/PAINTED WOOD FRAME KEYED LEVER HARDWARE & DEADBOLT
EX2	1-3/4" EXTERIOR INSULATED FIBERGLASS DOOR; SMOOTH FINISH, PAINT TO MATCH ADJ. WALL FULL GASKETING w/ PAINTED WOOD FRAME KEYED LEVER HARDWARE & DEADBOLT
IN1	1-3/8" INTERIOR SOLID CORE WOOD DOOR; PAINT GRADE FINISH TO MATCH ADJ. WALL PAINTED WOOD FRAME; PRIVACY LATCH LEVER HARDWARE AT BEDROOMS & BATHROOMS
IN2	1-3/4" INTERIOR SOLID CORE WOOD DOOR; PAINT GRADE FINISH TO MATCH ADJ. WALL; 20 MINUTE FIRE-RATED (GARAGE); PAINTED WOOD FRAME; SELF CLOSING & LATCHING, FULL GASKETING; KEYED LEVER HARDWARE
IN3	1-3/8" INTERIOR SOLID CORE WOOD DOOR; PAINT GRADE FINISH TO MATCH ADJ. WALL BARN-STYLE SLIDING DOOR w/FLOOR GUIDE
IN4	1-3/8" INTERIOR HOLLOW CORE WOOD DOORS; PAINT GRADE FINISH TO MATCH ADJ. WALL FULL GASKETING w/PAINTED WOOD FRAME PASSAGE HARDWARE, ROOM SIDE ONLY
GAR	INSULATED ALUMINUM SECTIONAL GARAGE DOOR w/WOOD EXTERIOR FINISH; WALL MOUNTED OPENER w/BATTERY BACK-UP

**CITY OF
PALM
SPRINGS
COMMUNITY
DEVELOPMENT**

NEW SFR

**DOOR &
WINDOW
SCHEDULES**

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Project Name & Address
NEW RESIDENCE
SINGLE FAMILY
2355 N. MILO DRIVE
PALM SPRINGS, CA 92262
APN 504-161-008

Drawing
SCALE
NTS

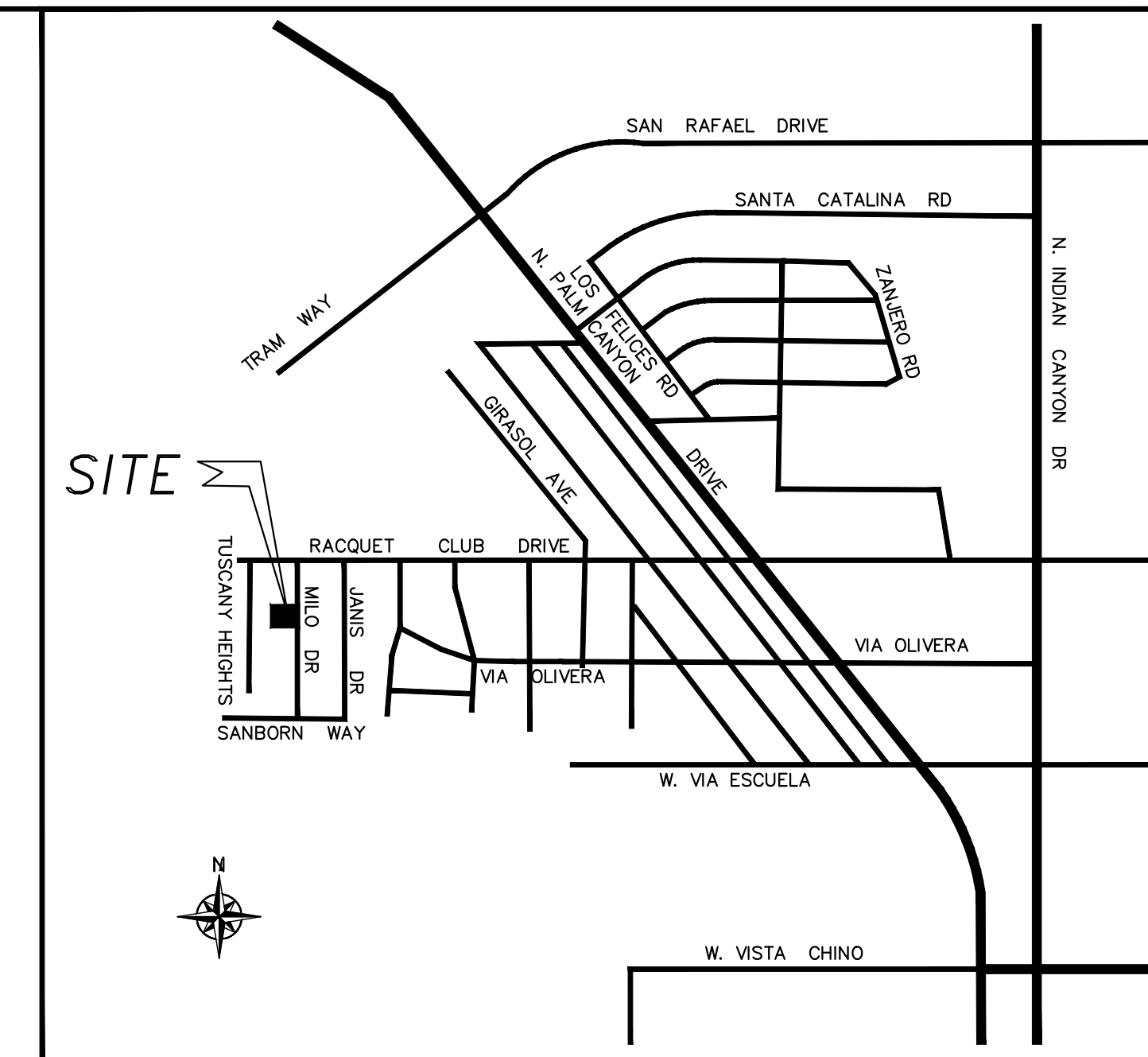
Project Number & Sheet Number
AA-6.0

PRELIMINARY GRADING PLAN

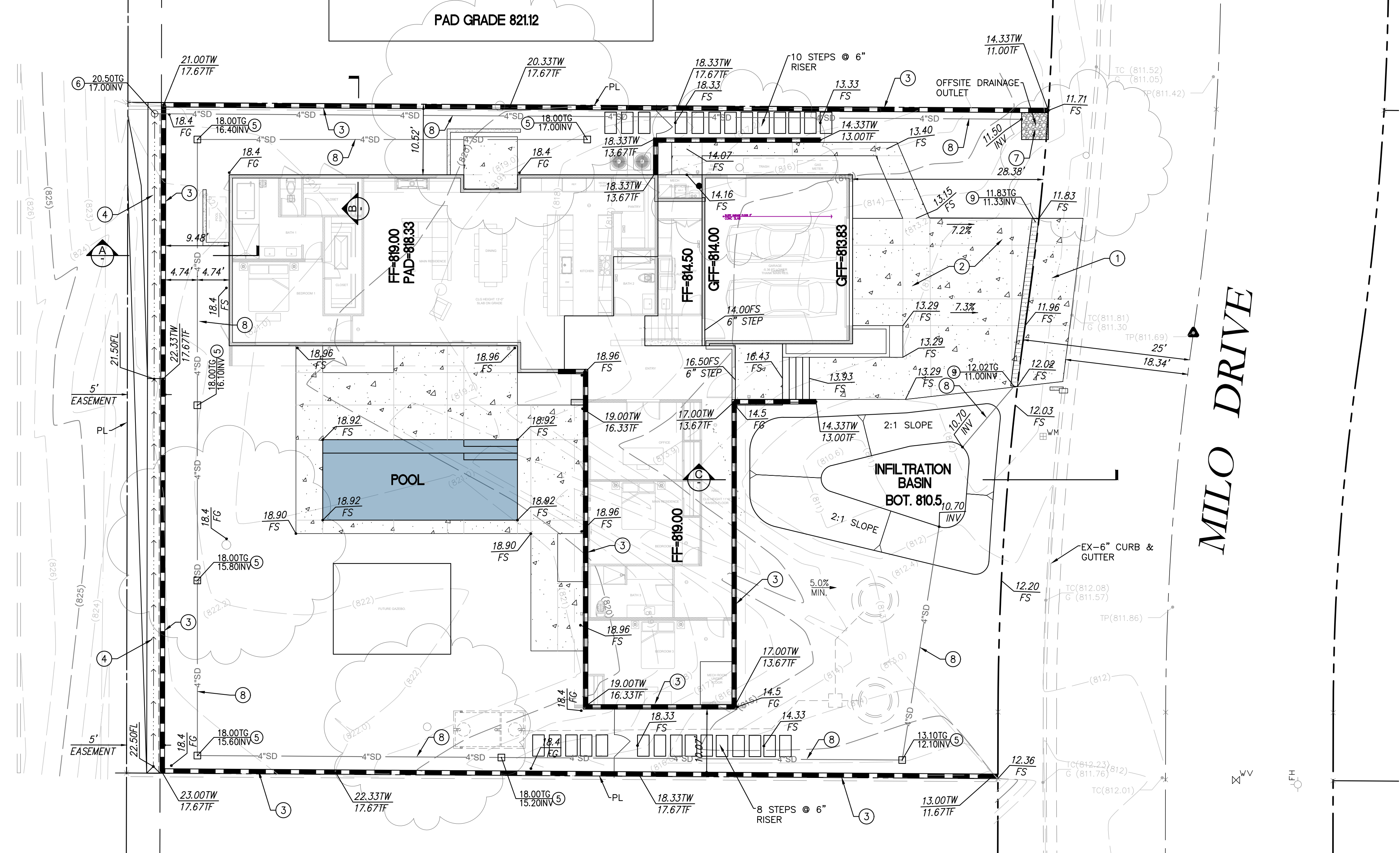
2355 MILO DRIVE, PALM SPRING, CA 92262

APN: 504-161-008

RIVERSIDE COUNTY



VICINITY MAP
N.T.S.



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 BEN@BENSEBCONCRETE.COM

CIVIL ENGINEER
 DRP ENTERPRISES LLC
 Daniel Patneoude
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 Palm Springs, CA 92263
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SITE ADDRESS
 2355 MILO DRIVE
 PALM SPRING, CA 92262

LEGAL DESCRIPTION
 LOT 16, TRACT 2303, AS RECORDED IN MAP BOOK 43, PAGE 83, OF
 OFFICIAL RECORDS OF THE CITY OF PALM SPRINGS, COUNTY OF
 RIVERSIDE, STATE OF CALIFORNIA

BASIS OF BEARINGS:
 BEING THE CENTERLINE OF MILO DRIVE BEING N 0°07'00" E, AS SHOWN
 ON MAP BOOK 43, PAGE 83

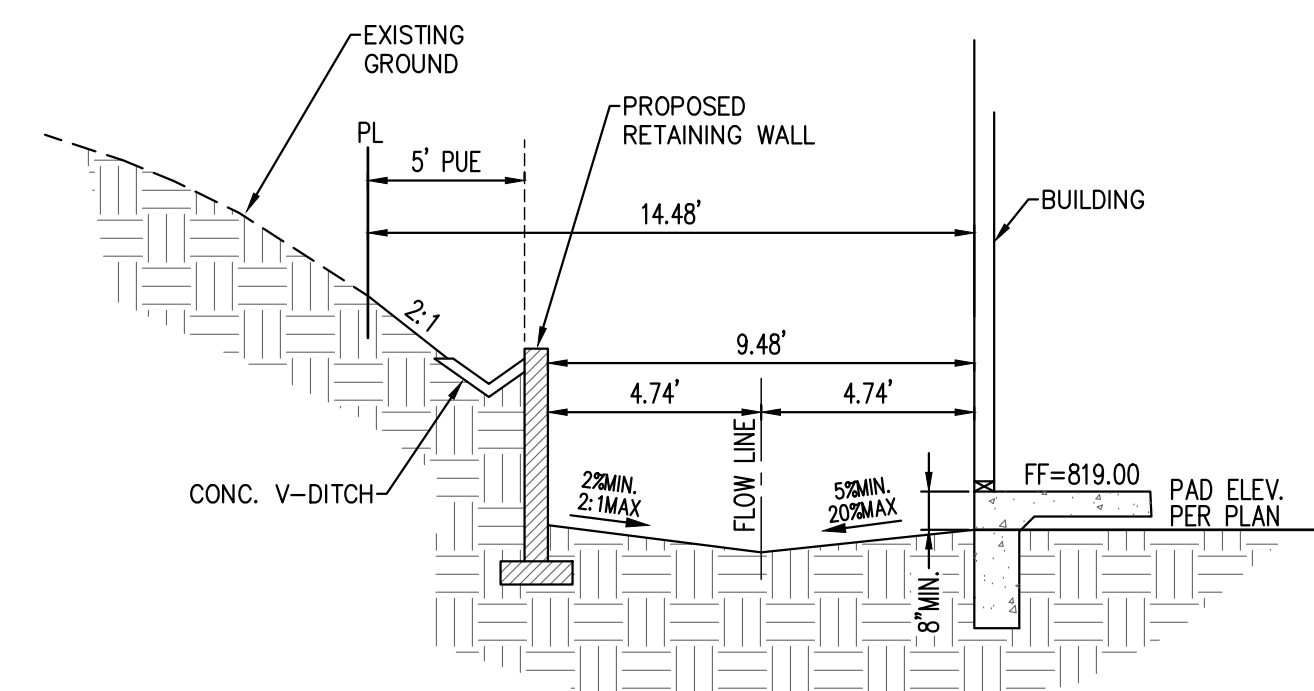
BENCHMARK:
 TOP OF F.H. #593 AT THE S.E. CORNER OF MILO DRIVE AND
 RACQUET CLUB DRIVE.
 EL= 804.929 NGVD 29



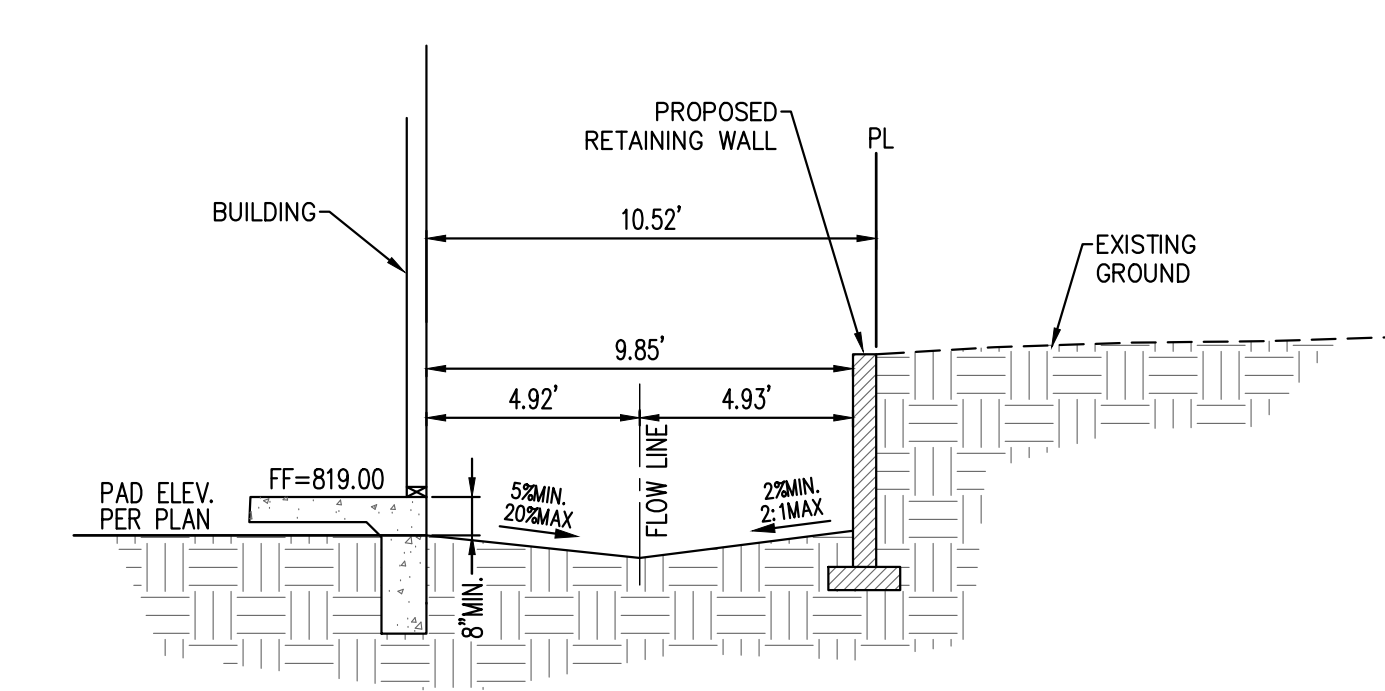
LEGEND:

	CENTERLINE
	PROPERTY LINE
	EXIST. CHAIN LINK FENCE
	EXIST. WOOD FENCE
	BLOCK WALL
	EXIST. CONTOUR LINE
	EXIST. SPOT ELEVATION
	EXIST. FIRE HYDRANT
	EXIST. POWER POLE
	EXIST. SEWER MANHOLE
	EXIST. STORM DRAIN MANHOLE
	EXIST. WATER METER
	EXIST. WATER VALVE
	CONCRETE AREA
	LAW AREA
	EG EDGE OF GUTTER
	FF FINISHED FLOOR
	FG FINISHED GROUND
	FL FLOW LINE
	FS FINISHED SURFACE
	GB GRADE BREAK
	HP HIGH POINT
	INV INVERT ELEVATION
	PAD PAD ELEVATION
	RET. RETAINING WALL
	TC TOP OF CURB
	TG TOP OF GRATE

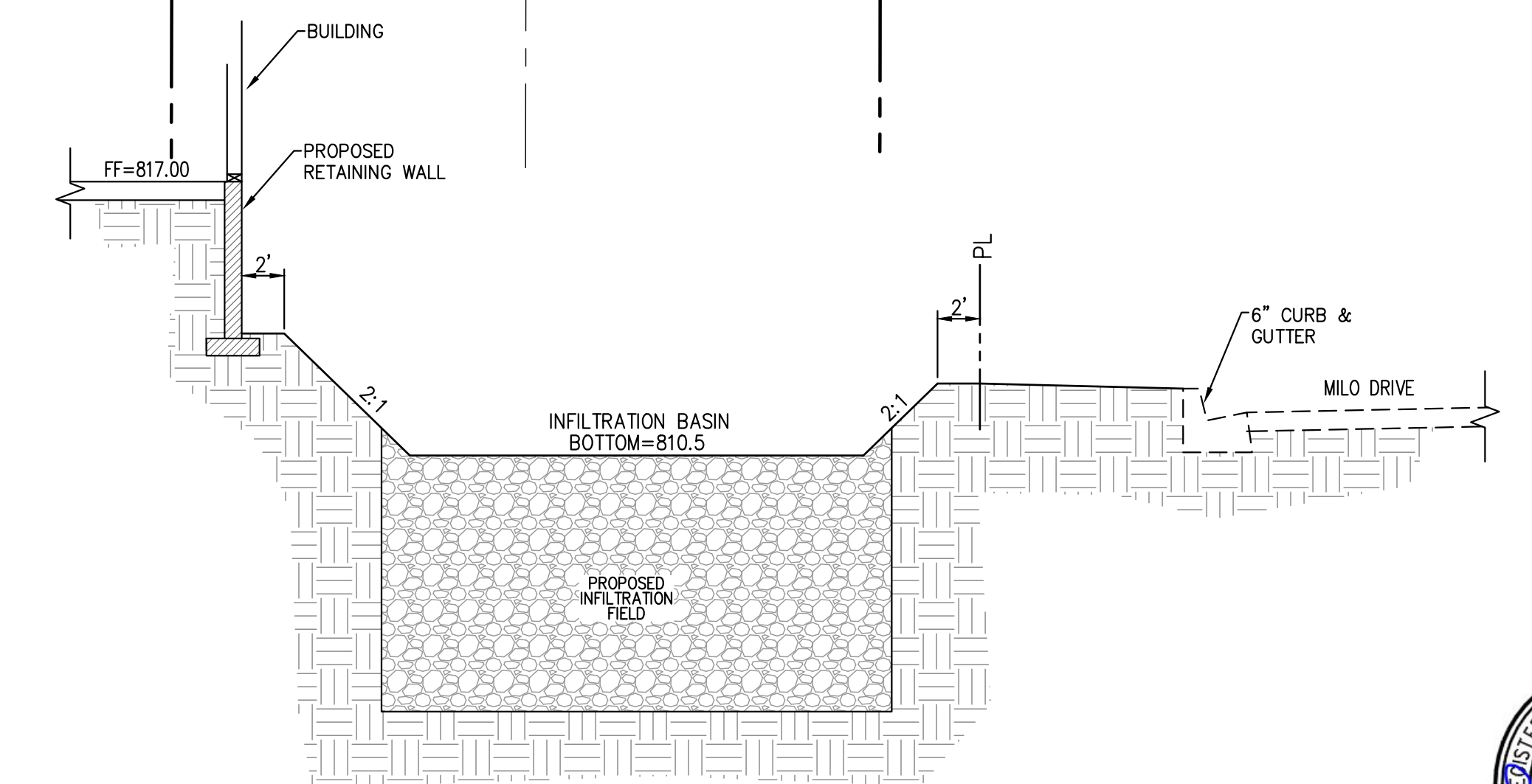
- CONSTRUCTION NOTE:**
- PROPOSED DRIVEWAY APPROACH
 - PROPOSED 6" PCC DRIVEWAY
 - PROPOSED RETAINING WALL
 - PROPOSED 2' WIDE CONC. V-DITCH
 - PROPOSED GRATE INLET
 - PROPOSED DRAINAGE OUTLET FROM V-DITCH
 - PROPOSED RIPRAP OUTLET
 - PROPOSED STORM DRAIN PIPE
 - PROPOSED TRENCH DRAIN



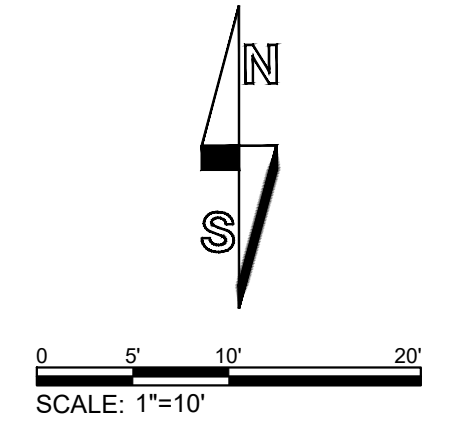
SECTION "A"
N.T.S.



SECTION "B"
N.T.S.



SECTION "C"
N.T.S.

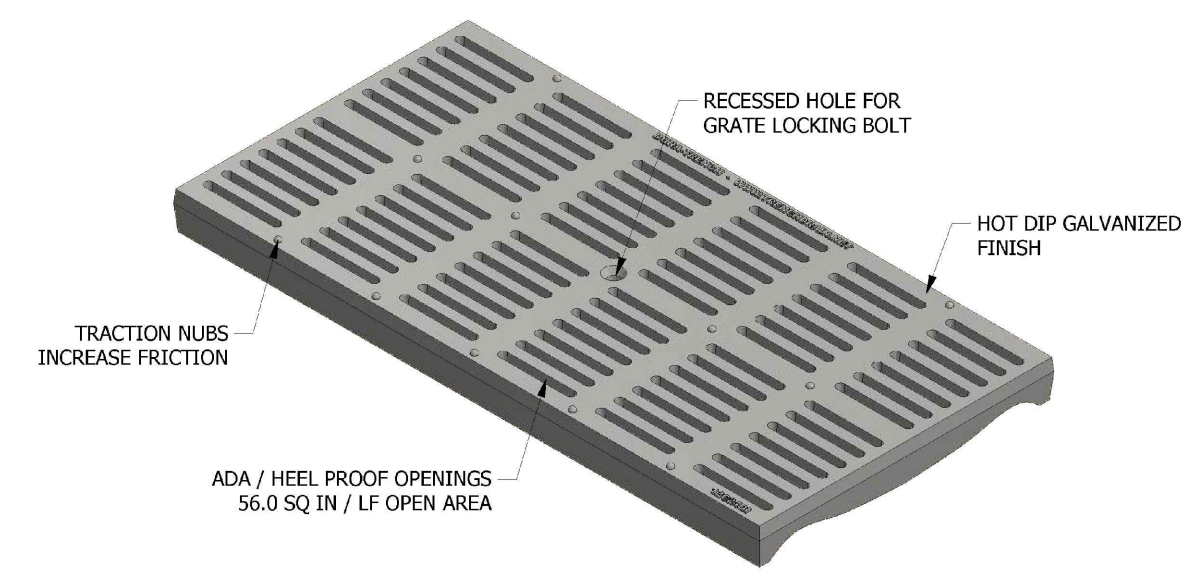


DRP ENTERPRISES LLC
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 Joanne C. Singer RCE 26900
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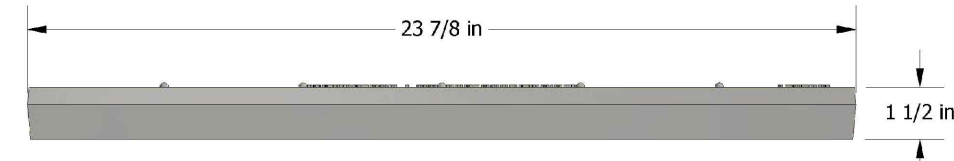
PREPARE DATE: 06/11/2024

D:\VDP\Enterprises\Joanne\2355 MILO DRIVE PS\DWG FILE E-12-24\2355MILO-DRIVE-GRADING.dwg 9-09-24 11:52:05 PM

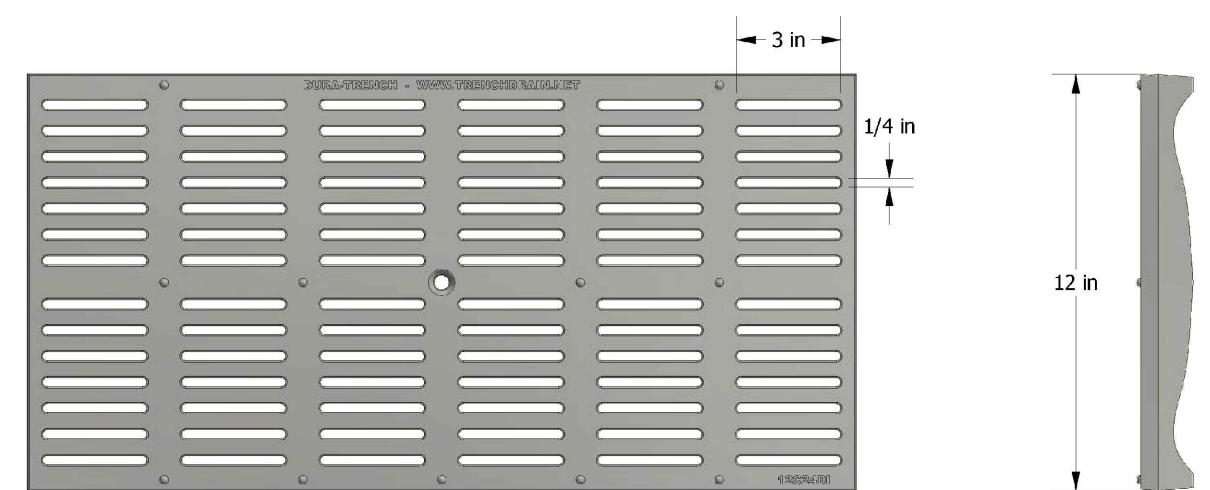
12C24DG 12" HEEL GUARD DUCTILE IRON GRATE



ISOMETRIC VIEW



SIDE VIEW



TOP VIEW

END VIEW

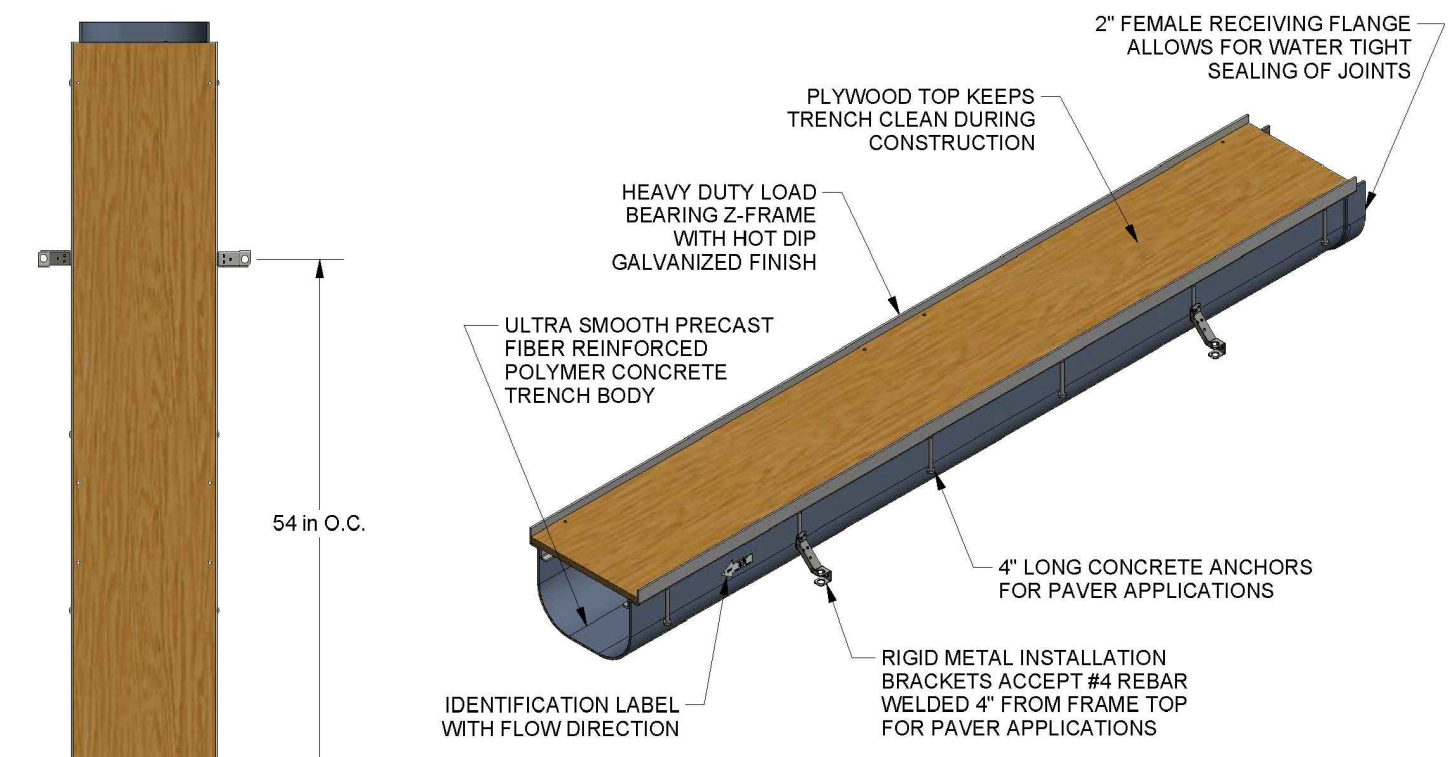
MATERIAL	DUCTILE IRON 65-45-12
COATING	HOT DIP GALVANIZED
LOCKING	BOLT AND TOGGLE
LOAD RATING	DIN CLASS D
ADA / HEEL GUARD	YES

STANDARD TOLERANCES	
0.0000	+0.0025
0.0000	+0.0025
0.0000	+0.0025

Dura Trench
manufactured by **12c24dg**

574c Industrial Way N.
Dallas, GA 30132
PH: 770-505-6575
www.trenchdrain.net

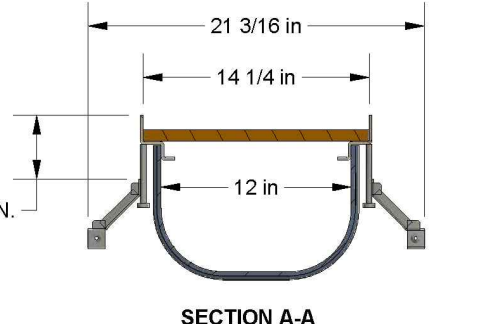
DTPF12-HDG515ZPA 12" PRECAST TRENCH DRAIN



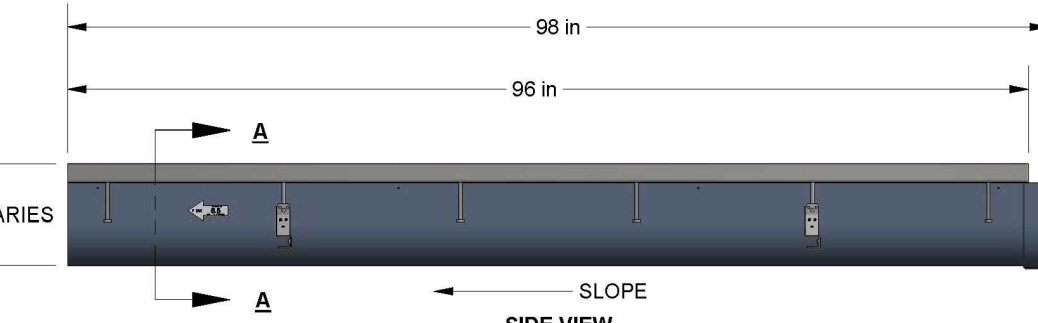
ISOMETRIC VIEW



TOP VIEW



SECTION A-A
SCALE 1:12



SIDE VIEW

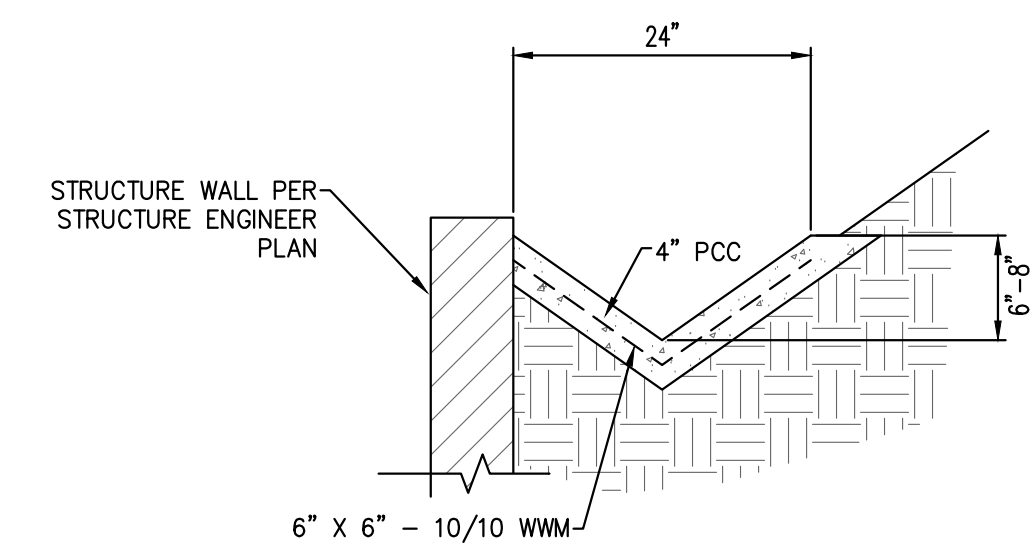
TRENCH MATERIAL	FIBER REINFORCED POLYMER
FRAME MATERIAL	STEEL PER ASTM A-36
FRAME COATING	HOT DIP GALVANIZED
ANCHOR STUDS	4" X 3/8" Ø
INSTALL DEVICE	RIGID STAMPED METAL FOR #4 BARS
LOAD RATING	HEAVY DUTY
SLOPE	0.5% TYP (CUSTOM SLOPE AVAILABLE)

Dura Trench
manufactured by **12c24dg**

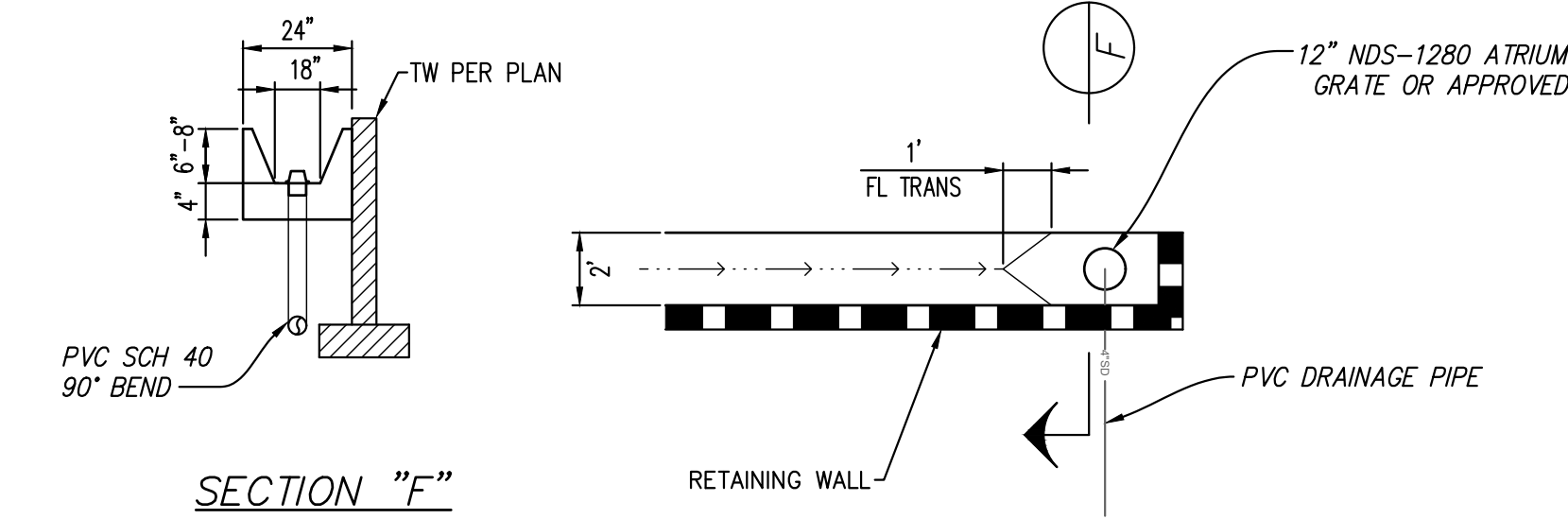
574c Industrial Way N.
Dallas, GA 30132
PH: 770-505-6575
www.trenchdrain.net

NOTE:
ALL TRENCHES ARE FACTORY
ASSEMBLED AND READY FOR
SITE INSTALLATION

TRENCH DRAIN DETAILS
N.T.S.

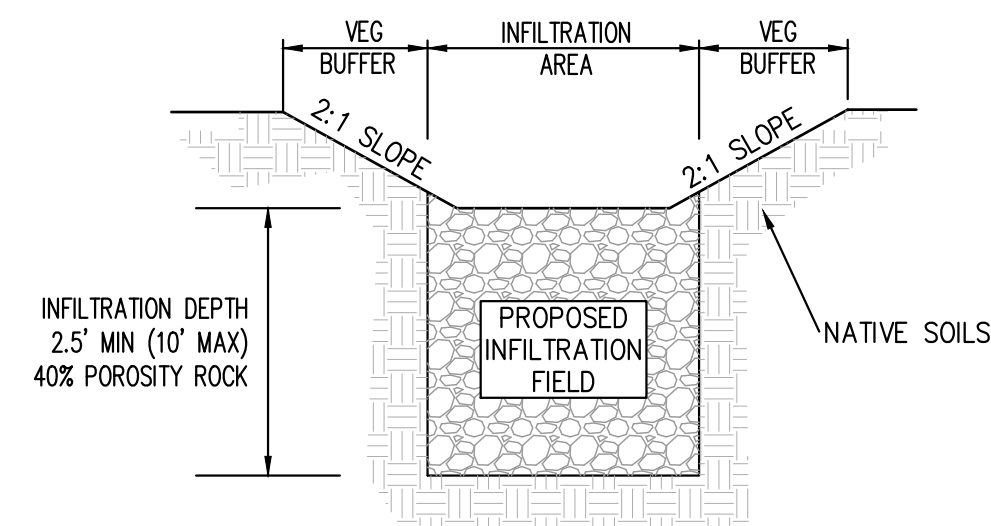


CONC. V-DITCH DETAIL
NOT TO SCALE

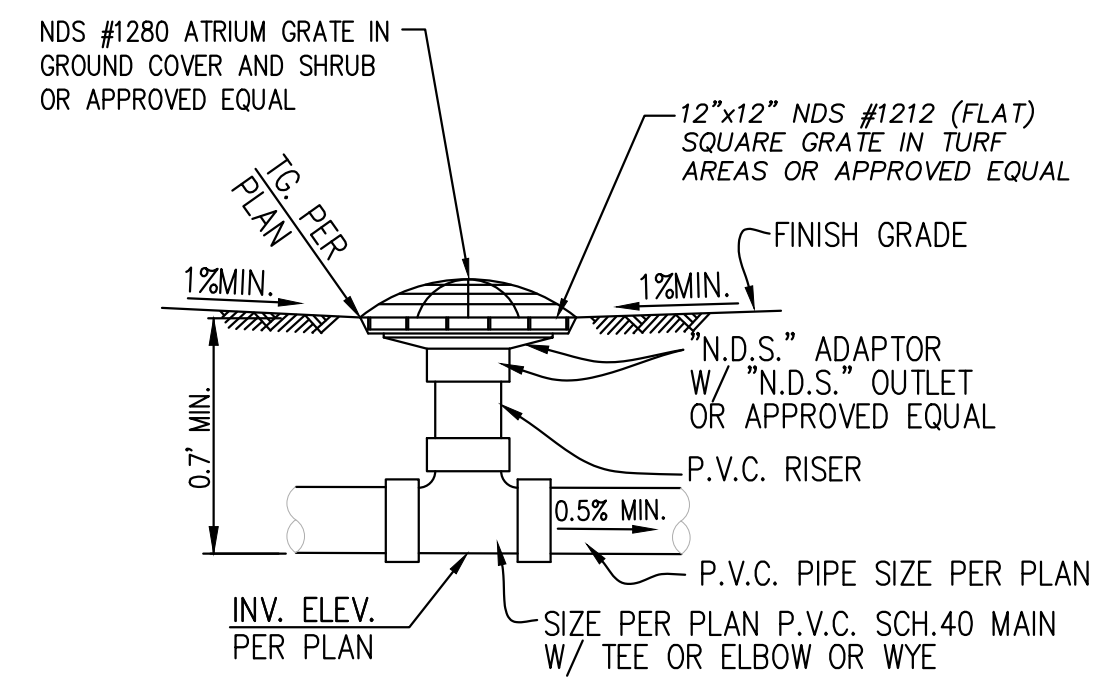


SECTION "F"

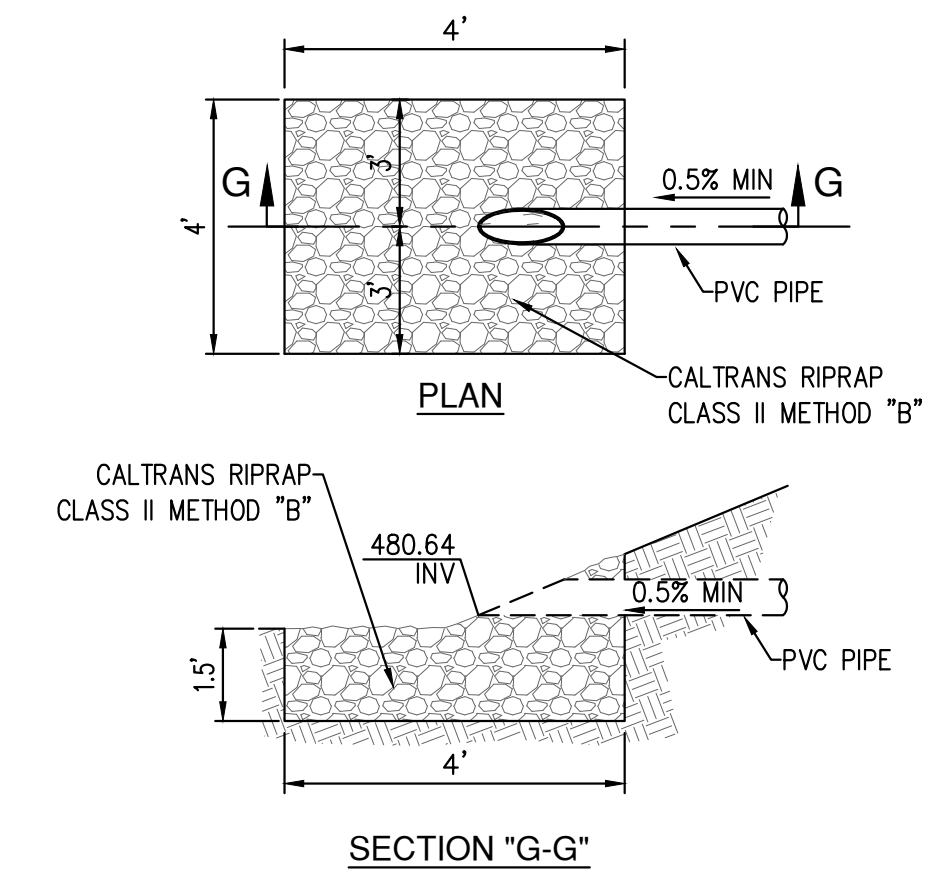
DRAIN OUTLET FROM V-DITCH
N.T.S.



INFILTRATION BASIN DETAIL
N.T.S.



AREA DRAIN DETAIL
NOT TO SCALE



CLASS II RIPRAP OUTLET DETAIL
N.T.S.



DRP ENTERPRISES LLC
Daniel Patneude
MAILING ADDRESS:
PO Box 4428
Palm Springs, CA 92263
206-734-7765
Joanne C. Singer RCE 26900
760-625-7426

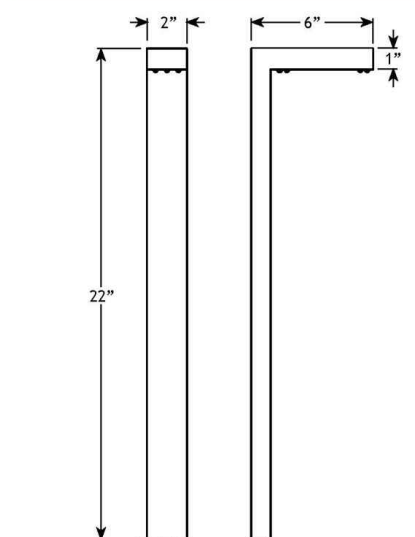
PREPARE DATE: 06/11/2024

VOLT® Low Voltage Landscape Lighting
 VOLT® Wide Modernelle Path & Area Light - VPL-1043

PRODUCT DESCRIPTION

Designed to seamlessly blend modern style with functionality, the VOLT® Wide Modernelle now comes in a die cast, rust-resistant 316 stainless steel construction. The sleek lines, clean finish, and stainless steel work together to embody the modern aesthetic of the path light. The shatter-resistant polycarbonate lens provides clear light distribution with a generous beam spread thanks to its 22" height. The modern design makes this fixture ideal for modern residences, rooftop spaces, and pathway and garden illumination. The moisture-tight design and lifetime warranty guarantees reliable operation in any weather.

PRODUCT DIMENSIONS



SPECIFICATIONS

- Construction: 316 Stainless Steel
- Lead Wire: 18 AWG
- Light Source: LED Bi-Pin
- Operating Voltage: 12VAC
- Powered by: VOLT's Low Voltage Transformer
- Mounting: 9" Ground Stake with cutout for wire exit

WARRANTY

Lifetime Warranty

CERTIFICATIONS



FEATURES & BENEFITS

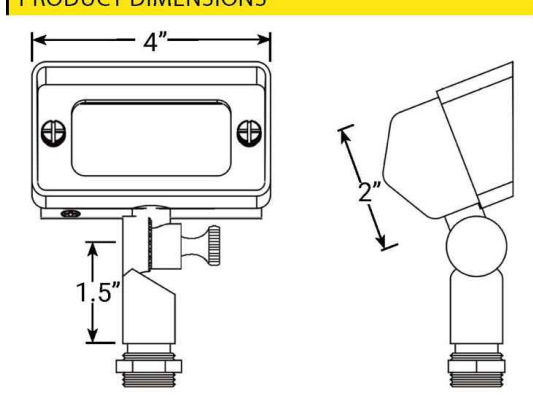
- Modern design complements contemporary aesthetics and landscapes.
- Beryllium copper socket more corrosion resistant than copper.
- Die-cast, rust resistant 316 stainless steel construction.
- Polycarbonate shatter-resistant lens.

VOLT® Low Voltage Landscape Lighting
 VOLT® Gentle Splash Cast Brass Flood Light & Wall Wash (VFL-430-4-BBK)

PRODUCT DESCRIPTION

With its wider beam spread, the VOLT® Gentle Splash Cast Brass Flood Light & Wall Wash strikes the perfect balance between the low-level brightness of spotlights with the wider focus of floodlights. It delivers just the right amount of illumination, allowing you to showcase your landscape or architectural elements with subtlety and finesse. Designed to meet the diverse needs of your outdoor lighting projects, the Gentle Splash includes several different lenses, allowing you to maximize brightness or further diffuse the beam and soften its edges.

PRODUCT DIMENSIONS



SPECIFICATIONS

- Construction: Brass
- Finish: Black
- Mounting: 10" Hammer Stake
- Lead Wire: 18 AWG
- Lens: Frosted lens (installed), clear lens and spread diffusion lens
- Light Source: Bi-pin (LED or Halogen)
- Operating Voltage: 12VAC
- Powered by: VOLT's Low Voltage Transformer

WARRANTY

Lifetime Warranty

CERTIFICATIONS



FEATURES & BENEFITS

- Solid Brass Construction.
- Black Powder Coat Finish
- Strip resistant threading provides superior mounting stability.
- Silicone plug at lead wire exit prevents ground moisture and insects from entering luminaire through the stem.
- Water Tight Double Silicone O-Ring - keeps water from entering luminaire.
- Machine threaded body screws tighten onto a gasket for a moisture tight design.
- Beryllium copper socket - more corrosion resistant than copper.

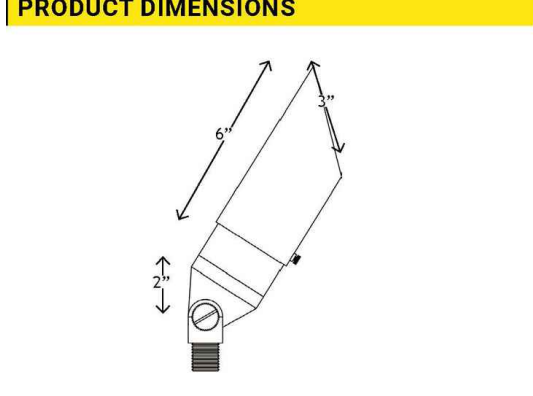
VOLT® Low Voltage Landscape Lighting
 VOLT® Top Dog Scotty- VAL-180

PRODUCT DESCRIPTION

The Top Dog Scotty is named after our longtime employee Scotty Somers. Scotty represents the spirit and passion of the VOLT culture and has always been our "Top Dog" - his humor and support our good friend.

The VOLT® Top Dog Cast Brass Spotlight has long been one of our most popular fixtures. Ideal for any uplighting application, this heavy-duty fixture features a fully adjustable glare guard and adjustable handle. The glare guard enables you to prevent light from entering unwanted areas, like windows of structures or high traffic areas like walkways or roadways. The Top Dog spotlight is also shielded and has a silicone plug at the base of the fixture where the lead wires exit, helping to prevent pests and humidity entering the fixture.

PRODUCT DIMENSIONS



SPECIFICATIONS

- Construction: Brass
- Finish: Bronze
- Lead Wire: 16 AWG
- Mounting: 10" Hammer Stake with cutout for wire exit
- Lens: Clear Flat
- Light Source: MR16 (LED or Halogen)
- Operating Voltage: 12VAC
- Powered by: VOLT's Low Voltage Transformer

WARRANTY

Lifetime Warranty

CERTIFICATIONS



FEATURES & BENEFITS

- Solid Brass Construction.
- Beryllium copper socket more corrosion resistant than copper.
- Silicone plug at lead wire exit prevents ground moisture and insects from entering luminaire through the stem.
- Water Tight Double Silicone O-Ring - keeps water from entering luminaire.
- Extra-long (1 inch) strip resistant threading and solid brass locknut provide superior mounting stability.
- Heavy duty adjustable knuckle and adjustable glare guard allows light to be positioned.

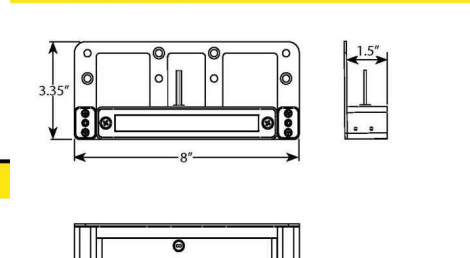
VOLT® Low Voltage Lighting

The Original VOLT® G2 Rotatable/ Pivoting Undercover Brass Hardscape Light- VHS-6720-X-BBZ-R1

Product Description

The VOLT® Rotatable Undercover Hardscape light is truly a one-of-a-kind commercial grade landscape lighting fixture. With its rotatable design, this fixture has an endless number of applications, including: railings, retaining walls, counter tops (for outdoor kitchens) and even property walls/fences. These fixtures are constructed of high quality solid cast brass, with premium internal components as well. Designed and optimized for replaceable LED G4 Bi-Pin bulbs. This fixture is completely sealed to protect from moisture and the environment. The frosted lens provides for a beautifully even, soft light that complements any application. Backed by VOLT's Lifetime Warranty.

Product Dimensions



Specifications

- Construction: Brass
- Finish: Bronze
- Lead Wire: 4" (standard) or 23" (optional) 18AWG
- Lens: Frosted lens
- Light Source: Bi Pin (sold separately)
- Powered by: VOLT's Low Voltage Transformer

Warranty

Lifetime Warranty

Certifications



Features & Benefits

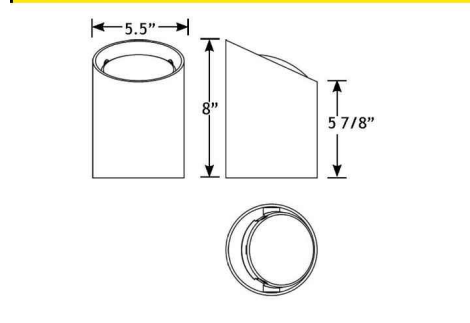
- Cast Brass Construction.
- Pre-aged finish - a natural patina that does not corrode.
- Silicone plug at lead wire exit prevents moisture and insects from entering luminaire.
- Multiple applications including railings, retaining walls, counter tops (for outdoor kitchens), property wall or fence.
- Frosted lens for a defused lighting effect.
- Can use most of our VOLT G4 Bi-pins.

VOLT® Low Voltage Landscape Lighting
 VOLT® Commercial PAR36 Well Light- VWL-500

PRODUCT DESCRIPTION

Redesigned with a flatter, more modern lens and drive-over steel louvers, the Commercial PAR36 well light sets the standard of durability that's sure to complement your landscape. With the ability to raise the bulb up and down, or even be angled within the housing, this fixture provides customization over angle and beam spread making it perfect for various lighting needs. Versatile enough to be installed in turf or mulch beds, this fixture's low profile design keeps it hidden, but results in highly effective lighting due to the use of a LED PAR36 bulb (sold separately).

PRODUCT DIMENSIONS



SPECIFICATIONS

- Construction: Reversible PVC Tube
- Finish: Black
- Lead Wire: 18 AWG
- Lens: Clear tempered glass
- Light Source: PAR36
- Operating Voltage: 12VAC
- Powered by: VOLT's Low Voltage Transformer

WARRANTY

Lifetime Warranty

Certifications



FEATURES & BENEFITS

- Optional debris cover for bulb protection
- PVC tube reversible for flat or angled glare guard
- Stainless steel adjustable lamp holder and lens holder

VOLT® Low Voltage Transformers
 Slim Line Transformers VTR-300SL

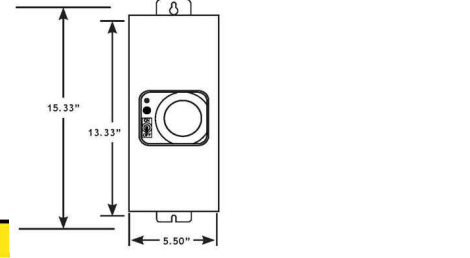
Product Description

The VOLT® Slim Line Transformer series features several new aspects to the Clamp-Connect style series, along with the same old aspects you already know and love. The Slim Line features a thinner and slimmer overall housing along with a see through window. This allows you to see the pilot light for the transformer without ever opening the transformer door. These have an improved wire latch to make opening the door of the unit a breeze and latching it just as easy. The lower knockouts have been replaced with new single-line slots with plastic inserts to make using conduit hassle-free. If you aren't using conduit, the new inserts allow for wire to slide in easily without it as well. These still utilize the clamp-connect terminals that make wire connections as simple as flipping a lever. The Slim Line series is the culmination of the various great design improvements on transformer technology by VOLT® over the last several years.

Specifications

- Housing: Stainless Steel Casing with Plastic Cover and Weather-Proof Shell
- Power Cord: 5 feet of 5/2W Water Resistant VW-1 OR FT1 10P-C 300V 18AWG/ULC-321
- Input Voltage: 120V 60Hz
- Output Taps: 12 & 15 Vdc
- Secondary Circuit Protection:
 - 300W: 25A Breaker
 - Maximum Draw: Max 300W 25A

Dimensions



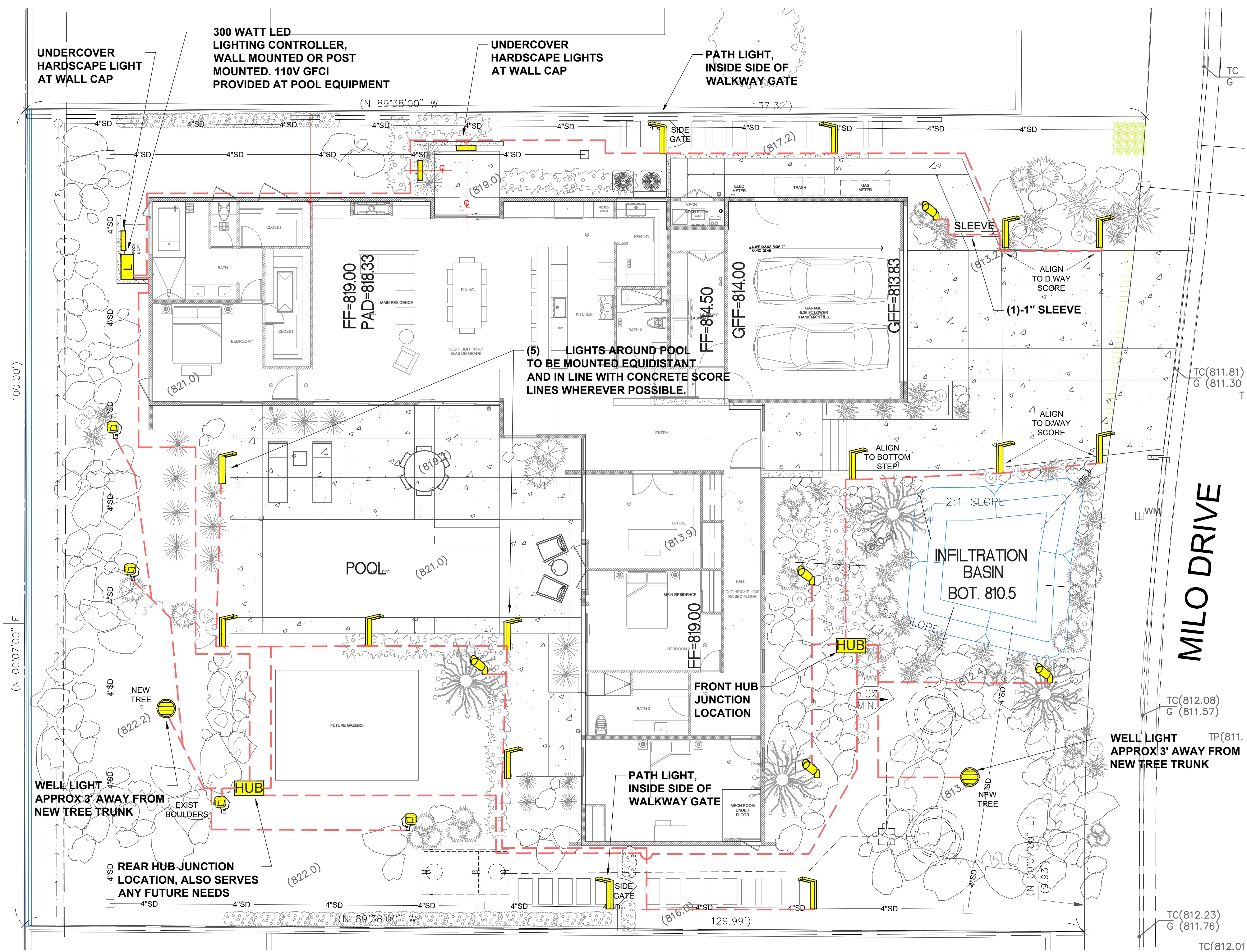
Features & Benefits

- Highly efficient toroidal core - runs cooler, generates less noise, with less voltage loss under load.
- Unique color-coded wire markers for easy maintenance and troubleshooting.
- Large 12 & 15V taps (UL 1583 compliant)
- 300W capacity
- Stainless steel body with hinged lid and plastic cover to see the timer and pilot lights from the outside.
- Protector/riser combo accessory sold as an option.
- Magnetic circuit breaker; auto reset integrated thermal breaker (in core).
- ETL Listed for both indoor and outdoor use.

Warranty

Lifetime Warranty

Certifications



OUTDOOR LED LIGHTING PLAN

LIGHTING LEGEND			LOW VOLTAGE LED LIGHTING COMPONENTS			
QTY.	SYMBOL	DESCRIPTION	BULB	QTY.	SYMBOL	DESCRIPTION
4		VOLT® Gentle Splash Cast Brass Flood Light & Wall Wash (Black)	VOLT® 3W G4 LED Bi-Pin 2700K Bulb (20W Halogen Replacement)	1		VOLT® 300 Watt Slim Line LED Transformer, w/ Astronomical Timer & Photocell.
14		VOLT® Wide Modernelle Brass Path & Area Light (Stainless Steel)	VOLT® 4W G4 LED Bi-Pin 2700K Bulb (35W Halogen Replacement)	2		VOLT® Pro Junction Hub Clamp-type connectors - simple, fast, and secure. Wires may be connected or disconnected after installation. Can be used as a voltage testing point. Low-profile housing has multiple wire-entry glands & includes mounting stake. Accepts up to 10 gauge wire
5		VOLT® Top Dog Scotty Cast Brass Spotlight (Bronze), w/6" Bronze Extension Riser	5W Adjustable Beam Angle LED MR16 Bulb - (2700K, 30W Halogen Replacement)	750_LF		10 ₂ & 12 ₂ GAUGE CABLE RUNS
3		VOLT® G2 Rotatable/Pivoting Undercover Hardscape Light(Bronze)	VOLT® 3W G4 LED Bi-Pin 3000K Bulb (20W Halogen Replacement)	54 Qty (2 Per Light)		In-Field Connections at the Light to be: Dry-Crimp Pre-Filled Wire Connectors Manufacturer approved for direct burial. Protective housing contains dielectric silicone sealant to protect and waterproof splice.
2		VOLT® Commercial PAR36 In-Ground Well Light	VOLT® 5W LED PAR36 35° 3000K Bulb (20W Halogen Replacement)			

CITY OF PALM SPRINGS COMMUNITY DEVELOPMENT NEW SFR

OUTDOOR LED LIGHTING PLAN

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No.	Revision / Issue	Drawn by	Checked by	Date
1	NEW	RAM	DRP	02-09-24
2	NEW LIGHTING PLAN	AWR	DRP	07-10-24
				09-05-2024

DRP Enterprises

Engineer:

Low Water Landscapes, Inc.
 Landscape Architecture - Planning
 Palmdale, CA 93550
 T: 916-260-5294 or 916-941-5085
 info@LowWaterLandscapes.com

Project Owner: **Jesse Rhodes**
 100 Stevens
 Palm Springs, CA 92262
 (415) 860-8998
 jwrhodes10@aol.com

Project Name & Address: **NEW RESIDENCE SINGLE FAMILY**
 2355 N. MILO DRIVE
 PALM SPRINGS, CA 92262
 APN 504-161-008

Drawing:

Project Number & Sheet Number: **LI-1.0**

CONCEPTUAL LANDSCAPE PLANS

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No.	Revision / Issue	Drawn by	Checked by	Date
1	NEW	JRAM	_DRP	07-10-24

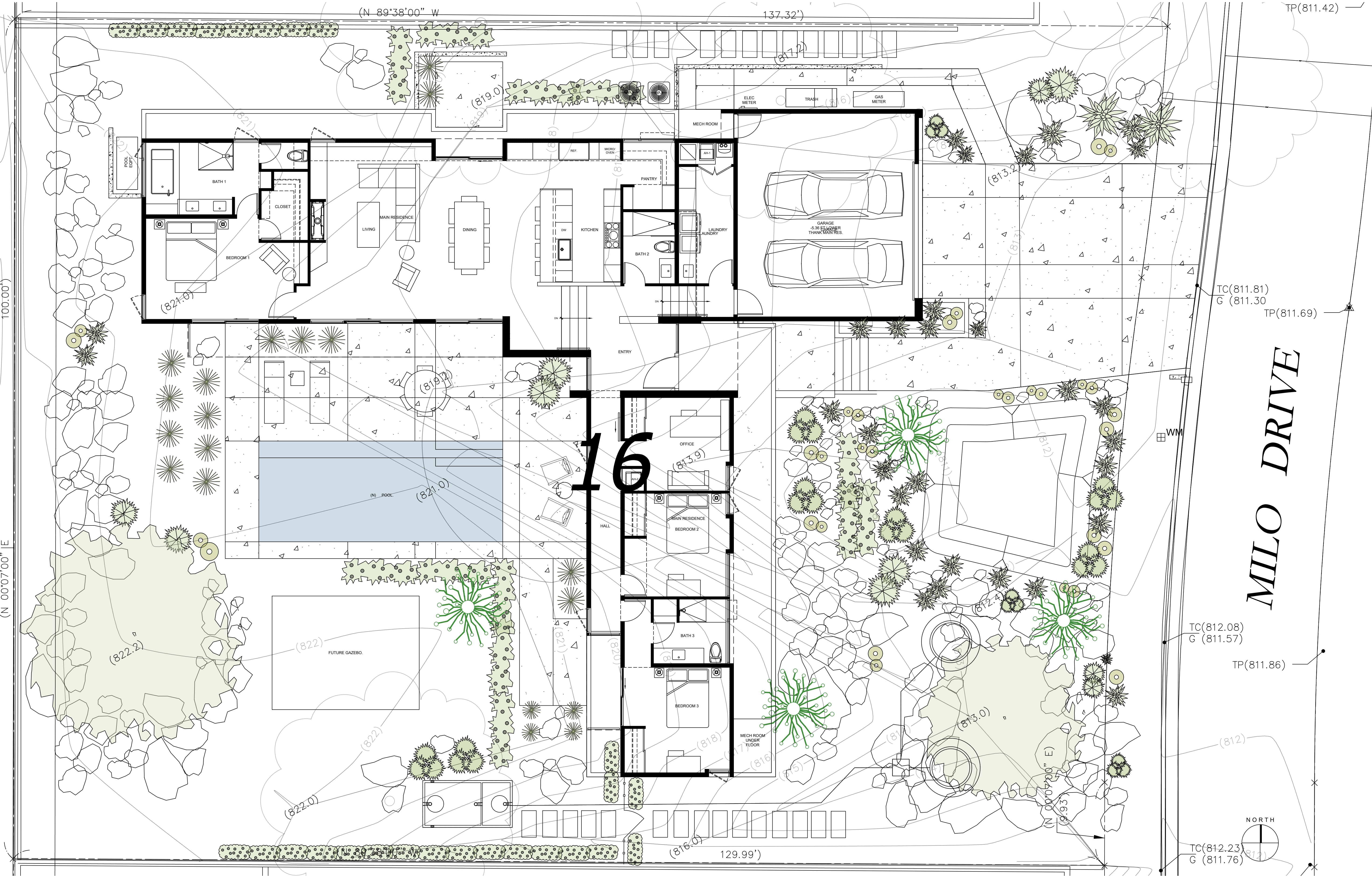


Project Owner
Jesse Rhodes
100 Stevens
Palm Springs, CA 92262
(415) 860-8998
jwrhodes10@aol.com

Project Name & Address
NEW RESIDENCE
SINGLE FAMILY
2355 N. MILO DRIVE
PALM SPRINGS, CA 92262
APN 504-161-008

Drawing
SCALE
3/16" = 1'-0"

Project Number & Sheet Number
L-1.0



LANDSCAPE LEGEND:

	Concrete Hardscape: Grey w/ sand finish Size: 4" thick Qty.: 2,520 sf		Natural Boulders: Excavated on site Size: various Qty.: tons & tons		Common: Little Leaf Palo Verde Size: 24"/36" box Qty.: 2 (2 existing to remain)		Scientific: Cercidium Microphyllum Qty.: 2		Common: Ocotillo Size: 8-12' Qty.: 3		Scientific: Fouquieria Splendens Qty.: 3		Common: Beaked Yucca Size: 10 gal. Qty.: 12		Scientific: Yucca Rostrata Qty.: 12		Common: Mexican Fence Post Size: 10 gal. Qty.: 8		Scientific: Pachycereus Marginatus Qty.: 8		Common: Fish Hook Barrel Cactus Size: 1-3' Qty.: 15		Scientific: Ferocactus Wislizenii Qty.: 15		Common: 'Regal Mist' Size: 10 gal. Qty.: 16		Scientific: Muhlenbergia Capillaris Qty.: 16		Common: Texas Ranger Size: 5 gal. Qty.: 16		Scientific: Leucophyllum Frutescens Qty.: 16		Common: Feathery Cassia Size: 5 gal. Qty.: 16		Scientific: Cassia Artemesiodides Qty.: 16		Common: Century Plant Size: 1/5/10 gal. Qty.: 16		Scientific: Agave Americana Qty.: 16		Common: Rosemary Size: 5 gal. Qty.: 18		Scientific: Rosmarinus Officinalis Qty.: 18
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Note:
All plant sizes, quantities and exact locations to be verified on site.

