



## **ARCHITECTURAL REVIEW COMMITTEE MEMORANDUM**

DATE: OCTOBER 21, 2024

NEW BUSINESS

SUBJECT: A REQUEST BY LOCKLEND, LLC, OWNER, (DBA: ARCHITECTURAL GLAZING) FOR A MAJOR ARCHITECTURAL PERMIT APPLICATION TO CONSTRUCT A 6,780-SQUARE FOOT WAREHOUSE BUILDING LOCATED AT 19345 NEWHALL STREET, ZONE M-2 (CASE #AR 2024-0077) (GM).

FROM: DEPARTMENT OF PLANNING SERVICES

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### PROJECT DESCRIPTION:

This is a request for the Architectural Review Committee (ARC) to review a proposed Major Architectural Application to construct a 6,780-square foot building to house the company's new Corporate offices, showroom, and warehouse operations. The vacant lot is in the McLean Tract Industrial Park area north of Interstate 10 in an area of similar industrial warehouse buildings. The Planning Commission approved a Major Development Permit with conditions at the September 11, 2024 meeting.

### RECOMMENDATION:

That the Architectural Review Committee approve the application.

### BUSINESS PRINCIPAL DISCLOSURE:

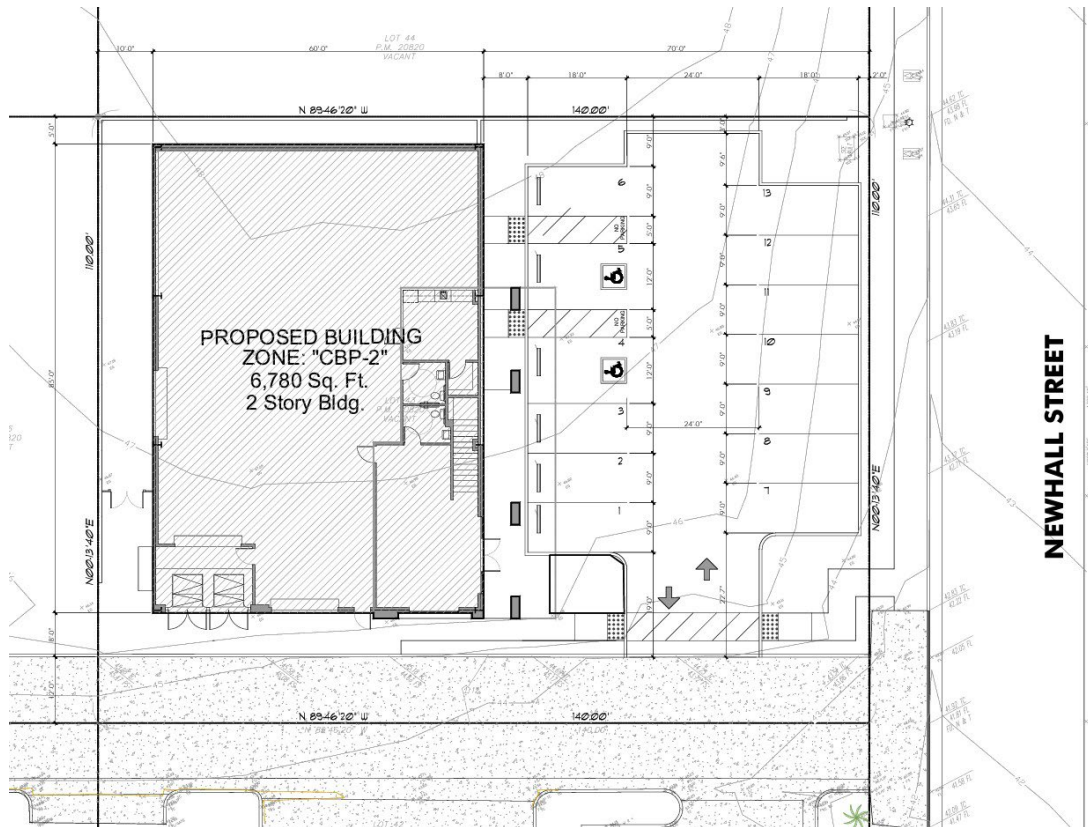
The subject property is owned by Lockland, LLC, (DBA: Architectural Glazing) with corporate officers listed as Mark Whitfield and Karen Whitfield per the Business Disclosure Form.

### SCOPE OF REVIEW:

1. The Architectural Review Committee will evaluate the Major Architectural Application (Case AR 2024-0077 MAJ) for conformance to criteria listed in PSZC Section 94.04.00 for the proposed site plan, landscaping and design of the new addition.
2. The Planning Commission approved a Major Development Permit (Case DP 2024-0004) for conformance to the criteria listed in PSZC Section 94.02.00(B)(6) and requested that a bike rack be added to the site plan.

**PROJECT DESCRIPTION:**

The project proposes the construction of a new 6,780-square foot building to contain a warehouse, showroom, and offices for the Architectural Glazing company. The site plan for the rectangular shaped vacant lot includes a front parking lot for employees and customers accessed from a shared driveway with an adjacent existing warehouse building leading to a thirteen (13) space parking lot. The new structure is placed at the rear of the lot and meets all required setbacks. The proposed floor plan for the lower level includes a warehouse space, a showroom, a lounge and two (2) restrooms all totaling 5,100-square feet. The upper level will contain multiple office space totaling 1,680-square feet. The multi-story building will have a maximum height of twenty-eight (28) feet. The exterior elevation will use a combination of materials to include stucco in a sand finish, and metal panels in a black color. Large windows on the lower and upper levels will provide light into the front and sides of the building with affixed metal "eyebrows" details providing solar control. A large roll-up door is shown on the south side of the building providing access to the warehouse. The trash area will be fully enclosed within the structure located on the south side of the building providing easy access for removal. A second roll-up door is proposed on the west façade (rear) of the warehouse providing access to an enclosed storage yard enclosed by an eight (8) foot tall masonry wall that encloses the rear and north side of the lot.



Site Plan



**BACKGROUND INFORMATION:**

<b><i>Related Relevant City Actions by Planning, Fire, Building, etc...</i></b>	
09/11/2024	Planning Commission approved Resolution #6966 granting approval of a Major Development Application for the construction a 6,780-square foot warehouse building.

<b><i>Most Recent Ownership</i></b>	
07/07/2023	Lockend, LLC

<b><i>Field Check</i></b>	
8/13/24	Staff visited site to observe existing conditions.

<b><i>Existing Street Improvement Conditions</i></b>			
<i>Street Name</i>	<i>Travel Lanes</i>	<i>Curb &amp; Gutter</i>	<i>Sidewalk</i>
Newhall Street	Y	Y	N

**DETAILS OF APPLICATION REQUEST:**

<b><i>Site Area</i></b>	
Site	0.36-Arce
Building Area	6,780-square feet

<i>Surrounding Property</i>	<i>Existing Land Use Per Chapter 92</i>	<i>Existing General Plan Designation</i>	<i>Existing Zoning Designation</i>
Subject Property	Industrial	RBC (Regional Business Center)	M-2 (Industrial)
North	Industrial	RBC (Regional Business Center)	M-2 (Industrial)
South	Industrial	RBC (Regional Business Center)	M-2 (Industrial)
East	Industrial	RBC (Regional Business Center)	M-2 (Industrial)
West	Industrial	RBC (Regional Business Center)	M-2 (Industrial)

DEVELOPMENT STANDARDS:

*Pursuant to PSZC Section 92.03.03 and 92.12.03 the following standards apply:*

<i>Standard</i>	<i>Required/ Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Lot Size	20,000 SF	15,400 SF	Existing Lot
Min. Lot Width	150 Feet	140 Feet	Existing Lot
Min. Lot Depth	110 Feet	100 Feet	Existing Lot
M-2 Setbacks			
• Front	25 Feet	70 Feet	Y
• Side (North)	Zero Feet	5 Feet	Y
• Side (South)	Zero Feet	8 Feet	Y
• Rear	Zero Feet	10 Feet	Y
Max Lot Coverage	60 %	43%	Y
Max. Building Height M-2 Zoned	30 Feet	28 Feet	Y

*Pursuant to PSZC Section 93.06.00, the following parking standards apply:*

<i>Parking Requirement</i>	<i>Required</i>	<i>Provided</i>	<i>Compliance</i>
Warehouse = 4,137 sq ft	1 space per 800 sq ft = 5 spaces	5 spaces	Y
Office = 1,067 sq ft	1 space per 250 sq ft = 4 spaces	4 spaces	Y
Surplus Spaces		4 spaces	Y
<b>TOTAL SPACES</b>		<b>13 spaces</b>	<b>Y</b>

## ANALYSIS:

### **Site Plan:**

The subject lot is an interior parcel located in an existing industrial park with similar warehouse uses. The site plan for the rectangular shaped vacant lot includes a front parking lot for employees and customers accessed from a shared driveway with an adjacent existing warehouse building leading to a thirteen (13) space parking lot. The building will occupy 43% of the overall lot with the remaining area containing the parking lot, landscaped areas, and outdoor storage yard. The site will be accessed from a shared driveway with the adjacent warehouse providing ingress/egress to the parking lot, roll-up door to the warehouse and the internal trash area.

### **Mass and Scale:**

The proposed 6,780-square foot building is similar in size and scale to the other existing structures in the immediate industrial park. The adjacent building to the south is one-story and has a similar mass and scale in terms of a square utilitarian building. The proposed new building with a maximum height of twenty-eight (28) feet is taller than the adjacent structure, however it is within the envelope of maximum height for buildings in the M-2 zone. The internal floor plan includes a large, tall warehouse portion with a mezzanine containing the upper-level offices.

### **Building Design and Detailing:**

The exterior elevation will use a combination of materials to include stucco in a sand finish with color named "Reflective White", and the remaining building component will be metal panels in a black color named "Tricon Black". Other accent elements include a gray colored stacked stone on the front and side elevations. A portion of the front elevation will project forward sitting on several columns providing shading of the internal showroom and lounge. Large windows on the lower and upper levels will provide light into the front and sides of the building with affixed metal "eyebrows" details providing solar control. A large roll-up door is shown on the south side of the building providing access to the warehouse. The trash area will be fully enclosed within the structure located on the south side of the building providing east access for removal. The proposed floor plan for the lower level includes a warehouse space, a showroom, a lounge and two (2) restrooms all totaling 5,100-square feet. The upper level will contain multiple office space totaling 1,680-square feet. The building height will be twenty-eight (28) feet tall. Architectural details will be reviewed by the Architectural Review Committee (ARC) upon approval of the Development Permit by the Planning Commission.

### **Landscaping and Buffers:**

The proposed landscape plan shows plantings along the street to include two (2) large 36" box Acacia trees and four (4) California Fan palms with ground plants of Agave and other shrubs with boulders interspersed. Parking lot shading will be provided by two (2) 36" Palo Verde trees planted adjacent to the parking lot. A four (4) foot tall wall or

landscaped berm is required along the street frontage to screen the parking lot. Overall, the landscape plan meets the requirements. The proposed plant palette consists of the plant materials that are included in the Lush and Efficient landscape gardening book. There is no turf application proposed for this project. The planting of larger trees will provide a greater chance of survival due to high winds which are prevalent in a wind prone area. The Architectural Advisory Committee (ARC) will review the final landscape plan.

Architectural Review Criteria and Findings:

PSZC Section 94.04.00(E) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
1.	<p><i>The architectural treatment is consistent on all four sides of the proposed building(s), unless otherwise approved by the ARC;</i></p> <p>The proposed 6,780-square foot warehouse building has an exterior façade that includes the use of stucco in a sand finish with color named “Reflective White”, and the remaining building component will be metal panels in a black color named “Tricon Black”. Other accent elements include a gray colored stacked stone on the front and side elevations. A large roll-up door is shown on the south side of the building providing access to the warehouse. All sides of the existing and new addition will be consistent and appear to be one structure.</p>	Y
2.	<p><i>The design of accessory structures, such as carports, cabanas, and similar accessory structures, shall be consistent with the form, materials and colors of the principal building(s), unless otherwise approved by the ARC;</i></p> <p>No accessory structures are proposed.</p>	N/A
3.	<p><i>The façade elements and fenestration are composed in a harmonious manner;</i></p> <p>The new building construction will utilize the front façade as a stucco element and rear portion vertical cladding of standing seam metal exteriors. A portion of the front elevation will project forward sitting on several columns providing shading of the internal showroom and lounge. Large windows on the lower and upper levels will provide light into the front and sides of the building with affixed metal “eyebrows” details providing solar control.</p>	Y
4.	<p><i>The proposed materials are consistent with the context of the site, adjacent buildings, and the desert environment;</i></p>	Y

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
	The site is currently vacant and located in the Mclean Tract Industrial Park which consists of other warehouse buildings. The use of construction methods with similar materials as existing structures will result in the building being consistent in design and appearance as other structures in the immediate area. The use of a shared driveway to access the parking lot, warehouse entry and internal trash enclosure results in a functional site plan.	
5.	<p><i>The proposed color scheme is appropriate to the desert environment and consistent with the site context;</i></p> <p>The building materials will consist of the front façade utilizing a sand finished stucco in a white color, with side and rear exteriors using vertical standing seam metal in a black color all appropriate materials.</p>	Y
6.	<p><i>Shading devices and sun control elements, excluding landscape materials, are provided to address environmental conditions and solar orientation;</i></p> <p>The building orientation with the front façade and parking lot facing east will help with afternoon solar control and protection from the wind. Large windows on the lower and upper levels will provide light into the east front and south sides of the building with affixed metal “eyebrows” details providing solar control. There are no building openings facing west or north except for one rear roll-up on the rear of the building.</p>	N/A
7.	<p><i>The proposed landscape plan is consistent with the requirements of PSMC Chapter 8.60;</i></p> <p>The landscape plan shows plantings along the street to include two (2) large 36” box Acacia trees and four (4) California Fan palms with ground plants of Agave and other shrubs with boulders interspersed. Parking lot shading will be provided by two (2) 36” Palo Verde trees planted adjacent to the parking lot. A four (4) foot tall wall or landscaped berm is required along the street frontage to screen the parking lot. Overall, the landscape plan meets the requirements.</p>	Y
8.	<i>The proposed landscape plan is consistent with all applicable zoning requirements, including any streetscape requirements, landscape buffer requirements, and screening requirements</i>	Y

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
	The configuration of the parking lot and proposed landscaping will enhance the overall site. The proposed plant palette consists of the plant materials that are included in the Lush and Efficient landscape gardening book. There is no turf proposed for this project. The planting of larger trees will provide a greater chance of survival due to high winds which are prevalent in a wind prone area.	
9.	<i>The shading for pedestrian facilities on the subject site or abutting public right(s)-of-way is adequate;</i>	Y
	The proposed site plan places the parking lot adjacent to the street with access from a shared driveway and the new building is placed at the rear of the lot. The parking lot will service both employees and customers visiting the warehouse and showroom with required shade plantings. A clear path of travel for ADA access is shown on the site plan and will be safe for all pedestrians as they will have access to the building from the parking lot and will not be in conflict with truck traffic.	
10.	<i>The proposed lighting plan is consistent with the requirements of PSZC Section 93.21.00, and the proposed lighting will not materially impact adjacent properties;</i>	Y
	A lighting plan has been provided that shows two (2) light poles placed adjacent to the street and nine (9) wall mounted lights on the building. The photometric plan shows adequate light levels will be present and meets the PSZC outdoor lighting code.	Y
11.	<i>Appropriateness of signage locations and dimensions relative to the building façade(s), or appropriateness of the site location for any freestanding signage, as may be warranted for the development type;</i>	N/A
	Currently no signage is proposed. Once a sign application is received it will be evaluated against the PSZC sign regulations.	
12.	<i>Screening is provided for mechanical equipment and service yards, to screen such facilities from view from public rights-of-way and abutting properties;</i>	Y
	The mechanical equipment for the building will be placed on the roof and will be screened by the parapets and will not be visible from the street or parking lot.	



ENVIRONMENTAL ANALYSIS:

Pursuant to the California Environmental Quality Act (CEQA) Guidelines, the project is Categorically Exempt under CEQA Section 153032 (Inn-Fill Development) – the construction of one (1) building on a previously graded parcel that has a General Plan Land Use designation of Regional Business Center and Zoned M-2 which is a by-right use. The new structure is no more than 10,000-square feet in size with all public utilities available to the site; and the area is not environmentally sensitive.

CONCLUSION:

As proposed and conditioned, the project conforms to the development standards for the M-2 zone as a warehouse and is permitted by-right. The use is consistent with the City of Palm Springs Zoning Code; therefore, staff recommends approval of the Major Architectural Application as all of the conditions of the Planning Commission review have been incorporated into the plans presented to the ARC.

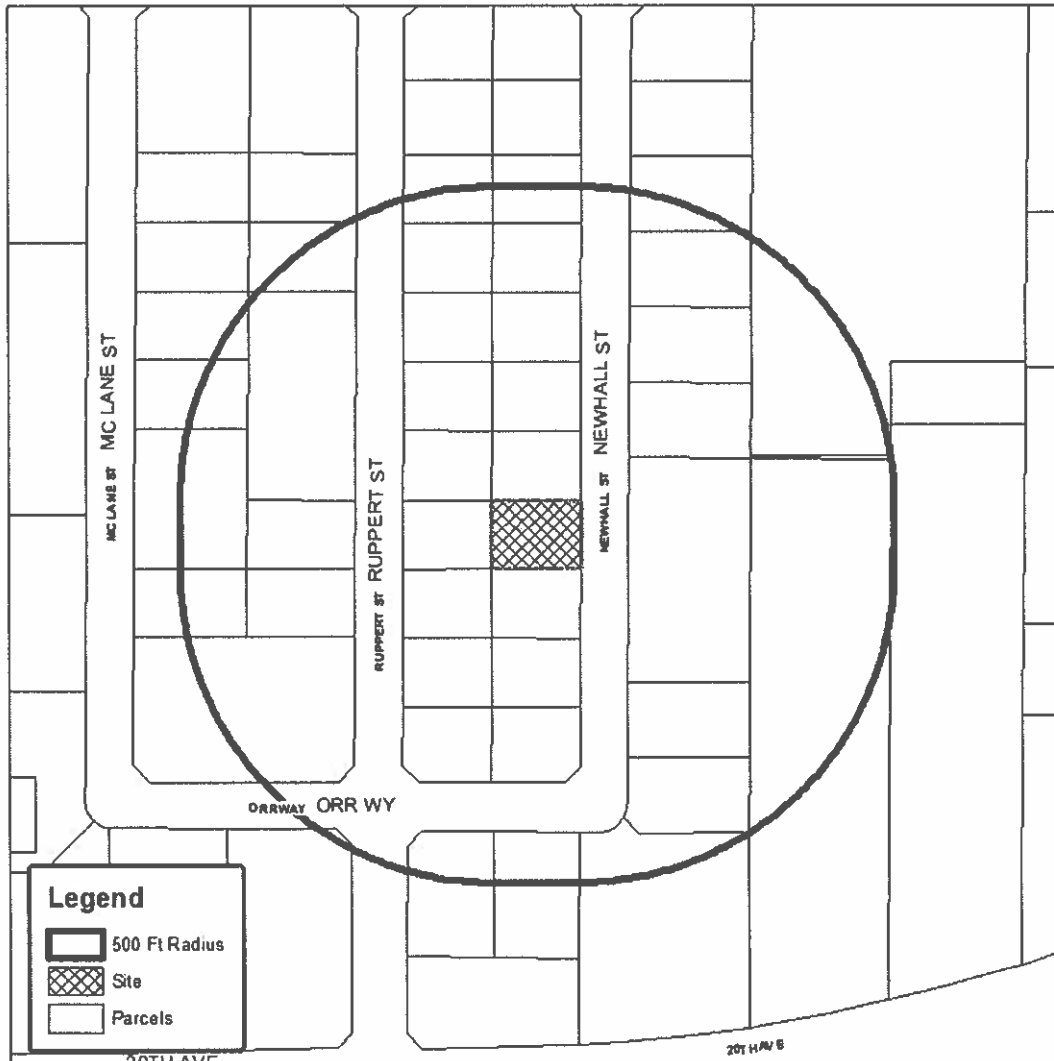
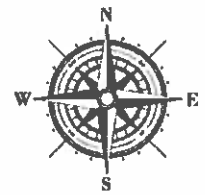
PREPARED BY:	Glenn Mlaker, AICP – Associate Planner
REVIEWED BY:	Chris Hadwin – Planning Director

ATTACHMENTS:

1. Vicinity Map
2. Draft Resolution
3. Draft Conditions of Approval
4. Planning Commission Resolution #6966
5. Justification Letter
6. Business Disclosure Form – Lockend, LLC
7. Site Photos
8. Site Plan and Elevations



# Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS

Case #DP 2024-0004  
19345 Newhall Street

RESOLUTION NO.

A RESOLUTION OF THE ARCHITECTURAL REVIEW COMMITTEE OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING MAJOR ARCHITECTURAL (MAJ) APPLICATION TO CONSTRUCT A 6,780-SQUARE FOOT WAREHOUSE BUILDING LOCATED AT 19345 NEWHALL STREET, C-2 (CASE #AR 2024-0077)

THE ARCHITECTURAL REVIEW COMMITTEE FINDS AND DETERMINES AS FOLLOWS:

A. Locklend, LLC, (DBA Architectural Glazing) (“Applicant”), filed a Major Architectural (MAJ) application with the City pursuant to the Palm Springs Zoning Code (PSZC) Sections 94.04.00 (Architectural Review), for the construction of a 6,780-square foot warehouse building located at 19345 Newhall Street, M-2 (Case AR 2024-0077) (“the Project”).

B. On April 8, 2021, the City Council adopted Ordinance No. 2042, amending Section 94.04.00 of the PSZC to reassign review of Major Architectural Review (MAJ) applications from the City’s Planning Commission to the City’s Architectural Review Committee.

C. On September 11, 2024, the Planning Commission reviewed the project and voted to approved a Major Development Permit (DP 2024-0004) and recommended approval to the Architectural Review Committee.

D. On October 21, 2024, the City’s Architectural Review Committee held a public meeting in accordance with applicable public law. At said meeting, the Architectural Review Committee carefully reviewed and considered all of the evidence presented in connection with the Project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE ARCHITECTURAL REVIEW COMMITTEE RESOLVES:

Section 1: The proposed 6,780-square foot warehouse building is considered a project pursuant to the California Environmental Quality Act (CEQA). The Architectural Review Committee has evaluated the Project pursuant to CEQA and determined it to be Categorically Exempt from further analysis under CEQA Guidelines Section 153032 (Class 32, In-Fill Development).

Section 2: As demonstrated in the staff report, the Project conforms to the Architectural Guidelines of PSZC Section 94.04.00 (“architectural review”);

Section 3: Based upon the foregoing, the Architectural Review Committee hereby approves Case AR 2024-0077 MAJ for the construction of a 6,780-square-foot warehouse building located at 19345 Newhall Street subject to the conditions of approval attached herein as Exhibit A.

ADOPTED this 21st day of October, 2024.

MOTION:

AYES:

ABSENT:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

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Christopher Hadwin  
Director of Planning Services

RESOLUTION NO. 6966

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM SPRINGS, CALIFORNIA, ADOPTING A CATEGORICAL EXEMPTION PER CEQA GUIDELINES; AND APPROVING CASE NO #DP 2024-0004; A MAJOR DEVELOPMENT PERMIT APPLICATION FOR THE CONSTRUCTION OF A 6,780 SQUARE FOOT WAREHOUSE BUILDING LOCATED AT 19345 NEWHALL STREET, ZONE M-2. (APN 666-422-002) (CASE #DP 2024-0004)

THE PLANNING COMMISSION FINDS AND DETERMINES AS FOLLOWS:

A. Locklend, LLC Owner, (DBA Architectural Glazing) (collectively, "Applicant") filed a Development Permit Application, (Case # DP 2024-0004), with the City of Palm Springs Department of Planning Services, pursuant to Section 94.04.01 (Development Review) of the Zoning Ordinance for the construction of a new 6,780-square foot warehouse building located at 19345 Newhall Street, Zone M-2. (APN 666-422-002)

B. On September 11, 2024, a public meeting on the application to consider Case # DP 2024-0004 was held by the Planning Commission in accordance with applicable law.

C. The proposed project is considered a "project" pursuant to the terms of the California Environmental Quality Act ("CEQA") and has been determined to be categorically exempt pursuant to Section 15303(C) of the CEQA Guidelines (New Construction).

D. The Planning Commission has carefully reviewed and considered all the evidence presented in connection with the project, including, but not limited to, the staff report, and all written and oral testimony presented.

E. Pursuant to Section 94.04.01 (D) Development Permit, of the Palm Springs Zoning Code, the Planning Commission finds:

1. *The proposed project is consistent with the General Plan and any applicable specific plan;*

The General Plan designation of this parcel is RBC (Regional Business Center) and is intended to accommodate a wide variety of business activities in a multi-use environment. The RBC is intended to provide job opportunities for the residents of Palm Springs and the whole Coachella Valley. Commercial, office, and industrial uses are supported by their proximity to the freeway are encouraged in this area. The proposed new building to contain the headquarters of Architectural Glazing company with a

warehouse, showroom, and corporate offices will allow the company to service residents and businesses in the City and beyond. In addition, the General Plan Goals states:

*Goal LU3 – Attract and retain high-quality industrial and business park development. and:*

*Goal LU3.4 – Allow for the development of assembly, service commercial, research, and office facilities as a secondary use in industrial area. and:*

*Goal LU3.7 – Encourage the development of small-scale manufacturing uses that support the designer home furnishing shops, and other design related uses. and*

*Goal LU4 – Attract and retain high-quality, sustainability commercial development.*

The project as proposed contributes to the General Plan goal and the findings have been met.

2. *The proposed uses are in conformance to the uses permitted in the zone district where the site is located, and are not detrimental to adjacent properties or residents;*

The parcel is currently zoned M-2 (Industrial) and the proposed warehouse is in conformance to the uses permitted in the M-2 zone, pursuant to Section 92.17.01 subject to the property development standards. The subject parcel is in an established industrial park with similar industrial uses which are not detrimental to adjacent properties and the finding has been met.

3. *The proposed project is in conformance to the property development standards for the zone district where the site is located;*

The site plan for the rectangular shaped vacant lot includes a front parking lot for employees and customers accessed from a shared driveway with an adjacent existing warehouse building leading to a thirteen (13) space parking lot. The new structure is placed at the rear of the lot setback seventy (70') feet from the front property line. Setback requirements in an industrial zone allow for a zero (0) setback for side and rear yards, however the proposal for the new building provides a side yard setback of five (5) feet and rear yard of ten (10) feet meeting the development standards and the finding has been met. Although the lot does not conform to current standards as to overall area, width, and depth, PSZC 92.17.0.03 allows this lot to be fully developed since it was legally established with its current boundaries when created.

4. *The proposed height and massing of the project is consistent with applicable standards and compatible with adjacent development;*

The proposed 6,780-square foot building is similar in size and scale to the other existing structures in the immediate industrial park. The adjacent building to the south is one-story and has a similar mass and scale in terms of a square utilitarian building. The

proposed new building with a maximum height of twenty-eight (28) feet is taller than the adjacent structure, however it is within the envelope of maximum height for buildings in the M-2 zone. The interior floor plan includes a large, tall warehouse portion with a mezzanine containing the upper-level offices. The massing and building heights are of good composition and will be consistent with existing buildings in compliance with the M-2 development standards and the finding has been met.

*5. The proposed setbacks and placement of the building are consistent with applicable standards and consistent with setbacks of adjacent buildings;*

The proposed building will have a seventy (70) foot front yard setback with a side of five (5) feet and rear yard of ten (10) feet consistent with M-2 zone development standards. The placement of the new building at the rear of the lot with parking lot fronting the street allows for truck, auto and pedestrian circulation and the finding has been met.

*6. The site for the proposed project has adequate access to streets and highways properly designed and improved to carry the type and quantity of traffic to be generated by the proposed uses, and the design for the site plan enhances or continues the city's existing grid in accordance with the Circulation Plan of the General Plan;*

The project site has access via a shared driveway from the adjacent warehouse building with access from Newhall Street which is a local street within the industrial park. Adjacent streets are at their full built width and contain curbs and gutters and are sufficient to handle trucks and light delivery vehicles anticipated to frequent the site and the finding has been met.

*7. On-site circulation conforms to minimum standards, and accommodations are made for safe on-site pedestrian circulation;*

The proposed site plan places the parking lot adjacent to the street with access from a shared driveway and the new building is placed at the rear of the lot. The parking lot will service both employees and customers visiting the warehouse and showroom while delivery trucks will access the building at the rear of the site. There is a clear delineation between the two and provides ease of circulation of the site. A clear path of travel for ADA access is shown on the site plan and will be safe for all pedestrians as they will have access to the building from the parking lot and will not be in conflict with truck traffic and the finding has been met.

*8. Landscape areas and open space are in conformance to applicable standards, and the design of stormwater management features are appropriately integrated with other elements of the site design;*

The proposed landscape plan shows plantings along the street to include two (2) large 36" box Acacia trees and four (4) California Fan palms with ground plants of Agave and other shrubs with boulders interspersed. Parking lot shading will be provided by two (2) 36" Palo Verde trees planted adjacent to the parking lot. Overall, the landscape plan meets the requirements. The proposed plant palette consists of the plant materials that are

included in the Lush and Efficient landscape gardening book. There is no turf application proposed for this project.

The planting of larger trees will provide a greater chance of survival due to high winds which are prevalent in a wind prone area and the finding has been met.

*9. Public infrastructure, such as water, sewer, and similar utilities, is adequate to serve the proposed project;*

The project is considered an in-fill development. There is adequate public infrastructure for the proposed project, including water from Mission Springs Water District (MSWD). An on-site septic system is required with future connection provide once service is installed for wastewater treatment, and electricity from Southern California Edison. Therefore, the project will be served by existing public infrastructure.

*10. Based on environmental review, the proposed project either has no potentially significant environmental impacts, any potentially significant impacts have been reduced to less than significant levels because of mitigation measures incorporated in the project, or a Statement of Overriding Considerations has been adopted to address unmitigated significant environmental impacts;*

The proposed project is Categorically Exempt under CEQA Section 153032 (In-Fill Development) – the construction of one (1) building on a previously graded parcel that has a General Plan Land Use designation of Regional Business Center and Zoned M-2 which is a by-right use. The new structure is no more than 10,000-square feet in size with all public utilities available to the site qualifies this project as Categorically Exempt per CEQA and the finding has been met.

*11. The proposed project has no unacceptable adverse effects on public welfare, health or safety.*

The proposed 6,780-square foot building and site improvements will not have an adverse effect on public welfare, health or safety. The development will be required to be constructed with proper permits from the Building Department and require a final inspection from the Building staff prior to occupancy.

#### THE PLANNING COMMISSION RESOLVES:

Based upon the foregoing, the Planning Commission hereby approves Case # DP 2024-0004 for the construction of a 6,780 square foot warehouse building at 19345 Newhall Street subject to the conditions of approval attached herein as Exhibit A.

ADOPTED this 11<sup>th</sup> day of September 2024.

AYES: WEREMIUK, BAKER, MILLER, ROTMAN, MORRILL  
EXCUSED: MURPHY



ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA



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Chris Hadwin  
Director of Planning Services.

**RESOLUTION NO. 6966**

**CONDITIONS OF APPROVAL**

Case # DP 2024-0004 Major Development Permit

Locklend, LLC (DBA Architectural Glazing)  
19345 Newhall Street  
(APN 666-422-002)

September 11, 2024

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning, the Building Official, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

**ADMINISTRATIVE CONDITIONS:**

- ADM 1. Project Description. This approval is for the project described per Case # DP 2024-0004; except as modified with the approved Mitigation Monitoring Program and the conditions below;
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, including site plans, and grading on file in the Planning Department except as approved with conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case # DP 2024-0004. The City of Palm Springs will

promptly notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.
- ADM 7. Time Limit on Approval. Approval of Development Permit shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.
- ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. The appeal period for Conditional Use Permit application is 15 calendar days from the date of the project approval. Permits will not be issued until the appeal period has concluded.

#### PROJECT SPECIFIC CONDITIONS:

#### PLANNING DEPARTMENT:

- PLN 1. Outdoor Lighting Conformance. Exterior lighting plans, including a photometric site plan showing the project's conformance with Section 93.21.00 Outdoor Lighting Standards of the Palm Springs Zoning ordinance, shall be submitted for approval by the Department of Planning prior to issuance of a building permit. Manufacturer's cut sheets of all exterior lighting on the building and in the landscaping shall be included. If lights are proposed

to be mounted on buildings, down-lights shall be utilized. No lighting of hillsides is permitted.

PLN 2. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.

**Add any conditions imposed by the Planning Commission**

PLN 3. Bike Racks. Add a bike rack at front of building.

**BUILDING DEPARTMENT:**

1. The applicant shall obtain permits for all construction involved with the site

**ENGINEERING DEPARTMENT:**

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer.

All Grading Plans, Improvement Plans, Required Studies and Documents listed below, must be submitted to Engineering Services Department for review and approval.

**STREETS**

ENG 1. Any improvements within the public right-of-way require a City of Palm Springs Encroachment Permit. All improvements are subject to inspection and a 48-hour inspection notification is required.

ENG 2. **Provide proposed finish floor elevations of all proposed structures, existing structures on site, and all adjacent off-site structures. Provide proposed on-site drainage flow designs. This information is required prior to site plan approval.**

ENG 3. There exists on this property a 12-foot-wide easement for ingress, egress, and drainage purposes along the southern 12 feet of the property, adjoining to the northerly 12 feet of the lot to the south. Said easement is

recorded as County document number 1993-265246. Any proposed design shall not interfere unreasonably with the use of the reciprocal easements granted therein. Applicant will need to indicate on revised plans where the existing easement is located, any impacts it has on the proposed design, as well as indicate any intentions regarding said easements. **This information is required prior to site plan approval.**

- ENG 4. If the applicant plans to vacate/quitclaim the easement, then the applicant shall be responsible for final resolution of all utilities, demolition of any existing improvements, coordination of improvements with adjacent property owners, etc. Proof of access rights for any work to take place upon adjacent lots that are under separate ownership shall be submitted to the City Engineer prior to approval of a grading plan. If a vacation/quitclaim is carried out for either easement, then the applicant will need to provide recorded documentation of the vacation/quitclaim prior to final inspections and/or issuance of certificate of occupancy.

#### NEWHALL STREET

- ENG 5. The existing driveway approach at the southeastern corner of the property will need to be replaced due to ADA purposes. Demolish the existing entrance and construct a new driveway approach with a minimum width of 24-feet wide in accordance with City of Palm Springs Standard Drawing No. 201 or 205. If Standard 205 is selected, construct Type C curb ramps meeting current California State Accessibility standards on each side of the new driveway approach in accordance with City of Palm Springs Standard Drawing No. 214. Due to the shared nature of the driveway, coordinate with the adjacent property owner to the south (with APN No. 666-422-004) as necessary for the removal. Proof of access rights for any work to take place upon adjacent lots that are under separate ownership shall be submitted to the City Engineer prior to approval of a grading plan.
- ENG 6. Construct an 8-foot-wide sidewalk behind the curb along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 210.
- ENG 7. Remove and replace existing asphalt concrete pavement where required, in accordance with applicable City standards.
- ENG 8. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

#### ON-SITE

- ENG 9. The on-site layout of drive aisles and parking spaces is subject to further review and approval by the City Engineer. Adjustment of proposed street alignments, and deletion or relocation of proposed parking spaces may be required during review and approval of construction plans for on-site improvements, as required by the City Engineer. Approval of the preliminary site plan does not constitute approval of the on-site layout of streets and parking spaces as proposed.
- ENG 10. The minimum pavement section for all on-site pavement for all onsite drive aisles and parking spaces shall be 3 inches asphalt concrete pavement over 4 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal. If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval.
- ENG 11. All on-site drive aisles shall be two-way with a minimum 24 feet wide travelway (as measured from face of curb) where no parking is proposed.
- ENG 12. On-site drive aisles and parking lot shall be constructed with curbs, gutters, and cross-gutters, as necessary to accept and convey street surface drainage of the on-site streets to the on-site drainage system, in accordance with applicable City standards.

#### **SANITARY SEWER**

- ENG 13. Construct a private sanitary sewer system in accordance with City of Palm Springs Ordinance No. 1084. All sanitary facilities shall be connected to the private sewer system.
- ENG 14. The City recommends that the applicant contact the Riverside County Health Department for requirements related to the construction of private septic systems. Private septic systems may require additional environmental requirements from Riverside County Health Department and/or the Regional Water Quality Control Board. A "Plan Check Clearance" for septic tank systems will be performed by Riverside County Health Department and/or Regional Water Quality Control Board, following permits for construction of the septic system will be issued by the City of Palm Springs.
- ENG 15. This project is subject to the requirements of the Mission Springs Water District (MSWD). Provisions for domestic water supply and public sanitary sewer service must be arranged for directly with MSWD. The applicant should contact MSWD (at 760-329-6448) and determine what

requirements MSWD may have for provisions of domestic water and/or sanitary sewer service to the property.

- ENG 16. Pay the Indian Canyon Commercial sewer line extension area fee of \$19,469 per EDU in accordance with Resolution No. 24899. Fees shall be paid prior to issuance of a building permit.

#### GRADING

- ENG 17. Submit a Precise Grading Plan prepared by a California licensed civil engineer to the Engineering Services Department for review and approval. The plan shall be approved by the City Engineer prior to grading permit issuance.

- a. A Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Services Department for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's or its contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Services Department with current and valid Certificate(s) of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related "PM10" Dust Control issues, please contact AQMD at (866) 861-3878, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Services Department prior to approval of the Grading plan.
- b. The first submittal of the Grading Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of Soils Report; and a copy of the associated Hydrology Study/Report; a copy of the project-specific Final Water Quality Management Plan.

- ENG 18. Prior to approval of a Grading Plan (or issuance of a Grading Permit), the applicant shall obtain written approval to proceed with construction from the Agua Caliente Band of Cahuilla Indians, Tribal Historic Preservation

Officer or Tribal Archaeologist ( a copy of the written approval must be provided to the City) . The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at [ACBCI-THPO@aguacaliente.net](mailto:ACBCI-THPO@aguacaliente.net) to determine their requirements, if any, associated with grading or other construction. The applicant is advised to contact the Tribal Historic Preservation Officer or Tribal Archaeologist as early as possible. If required, it is the responsibility of the applicant to coordinate scheduling of Tribal monitors during grading or other construction, and to arrange payment of any required fees associated with Tribal monitoring.

- ENG 19. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed after issuance of Grading Permit, and immediately prior to commencement of grading operations.
- ENG 20. Temporary dust control perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 21. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ENG 22. Drainage swales shall be provided adjacent to all curbs and sidewalks to keep nuisance water from entering the public streets, roadways, or gutters.
- ENG 23. In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of eight hundred dollars (\$800) (if there is disturbance of 5,000 square feet or more) at the time of issuance of grading permit for mitigation measures for erosion/blowsand relating to this property and development.
- ENG 24. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Services Department with the first submittal of a grading plan.



- ENG 25. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved grading plan shall be certified by a California registered geotechnical or civil engineer, certifying that all grading was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be provided even though there may not be a grading plan for the project. Prior to issuance of Building Permits.
- ENG 26. The applicant shall provide Grading Certification for all building (or structure) pads in conformance with the approved grading plan to the Engineering Services Department for review and approval prior to issuance of Building Permits.
- ENG 27. In cooperation with the California Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (Revised - RIFA Form CA-1) prior to approval of the Grading Plan (if required). The California Department of Food and Agriculture office is located at 6819 East Gage Avenue, Commerce, Ca 90040 (Phone (760)782-3271, (562)505-6415), [Sonia.Oran@cdfa.ca.gov](mailto:Sonia.Oran@cdfa.ca.gov).

#### WATER QUALITY MANAGEMENT PLAN

- ENG 28. This project shall be required to install measures in accordance with applicable National Pollution Discharge Elimination System (NPDES) Best Management Practices (BMP's) included as part of the NPDES Permit issued for the Whitewater River Region from the Colorado River Basin Regional Water Quality Control Board (RWQCB). The applicant is advised that installation of BMP's, including mechanical or other means for pre-treating contaminated stormwater and non-stormwater runoff, shall be required.
- ENG 29. A Final Project-Specific Water Quality Management Plan (WQMP) shall be submitted to and approved by the City Engineer prior to issuance of approval of any grading plan. The WQMP shall address the implementation of operational Best Management Practices (BMP's) necessary to accommodate nuisance water and storm water runoff from the site. Direct release of nuisance water to the adjacent property (or public streets) is prohibited. Construction of operational BMP's shall be incorporated into the Precise Grading and Paving Plan.

ENG 30. Prior to issuance of any grading or building permits, the property owner shall record a "Covenant and Agreement" with the County-Clerk Recorder or other instrument on a standardized form to inform future property owners of the requirement to implement and maintain the approved Final Project-Specific Water Quality Management Plan (WQMP). Other alternative instruments for requiring implementation of the approved Final Project-Specific WQMP include: requiring the implementation of the Final Project-Specific WQMP in Home Owners Association or Property Owner Association Covenants, Conditions, and Restrictions (CC&Rs); formation of Landscape, Lighting and Maintenance Districts, Assessment Districts or Community Service Areas responsible for implementing the Final Project-Specific WQMP; or equivalent. Alternative instruments must be approved by the City Engineer prior to issuance of any grading or building permits.

#### DRAINAGE

ENG 31. All stormwater runoff across the property shall be accepted and conveyed in a manner acceptable to the City Engineer and released to an approved drainage system. Stormwater runoff may not be released directly to the adjacent streets without first intercepting and treating with approved Best Management Practices (BMPs).

ENG 32. All stormwater runoff passing through the site shall be accepted and conveyed across the property in a manner acceptable to the City Engineer. For all stormwater runoff falling on the site, on-site retention or other facilities approved by the City Engineer shall be required to contain the increased stormwater runoff generated by the development of the property. Provide a hydrology study to determine the volume of increased stormwater runoff due to development of the site, and to determine required stormwater runoff mitigation measures for the proposed development. The hydrology study shall be reviewed and approved prior to approval of any grading plan. Final retention basin sizing and other stormwater runoff mitigation measures shall be determined upon review and approval of the hydrology study by the City Engineer and may require redesign or changes to site configuration or layout consistent with the findings of the final hydrology study. No more than 40-50% of the street frontage parkway/setback areas should be designed as retention basins. On-site open space, in conjunction with dry wells and other subsurface solutions should be considered as alternatives to using landscaped parkways for on-site retention.

ENG 33. The applicant shall accept and convey all stormwater runoff across the property and conduct the runoff to an approved drainage structure. On-site retention may be allowed on that portion of the property where historically, stormwater runoff is conveyed. All on-site grade slopes shall not be less

than 0.5%. If onsite retention is utilized, retention basin calculations shall be provided to the City Engineer.

- ENG 34. In accordance with the Parcel Map No. 20820 Environmental Constraint Sheet, the grades within the 55-foot wide half-street drainageway designed as part of Newhall Street, must be maintained near the existing elevations. The 55 feet wide area shown as "subject to flooding" on the Environmental Constraint Sheet shall be kept free of obstructions (including flow restricting fencing or walls).
- ENG 35. In accordance with the Parcel Map No. 20820 Environmental Constraint Sheet, all new buildings should be floodproofed to a height of 18 inches above the surrounding ground.
- ENG 36. The project is subject to flood control and drainage implementation fees. The acreage drainage fee at the present time is \$7,746.89 per acre in accordance with Resolution No. 15189. Fees shall be paid prior to issuance of a building permit.

#### GENERAL

- ENG 37. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115.
- ENG 38. All proposed utility lines shall be installed underground.
- ENG 39. All existing utilities shall be shown on the improvement plans if required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.
- ENG 40. Upon approval of any improvement plan (if required) by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD drawing filetype) and PDF (Adobe Acrobat document filetype) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval by the City Engineer.
- ENG 41. The original improvement plans prepared for the proposed development and approved by the City Engineer (if required) shall be documented with record drawing "as-built" information and returned to the Engineering Services Department prior to issuance of a final certificate of occupancy. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.

- ENG 42. Nothing shall be constructed or planted in the corner cut-off area of any driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.
- ENG 43. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers installed in accordance with City of Palm Springs Standard Drawing No. 904.
- ENG 44. The applicant shall contact Mission Springs Water District at (760) 329-6448 to determine the requirements for extending water service to the project site. The applicant may be responsible for the design and construction of off-site water line improvements OR payment of applicable fair-share costs of off-site water line improvements constructed by others.
- ENG 45. This property is subject to the Coachella Valley Multiple Species Habitat Conservation Plan Local Development Mitigation Fee (CVMSHCP-LDMF). The LDMF shall be paid prior to issuance of Building Permit.

#### TRAFFIC

- ENG 46. A minimum of 48 inches of clearance for accessibility shall be provided on public sidewalks. Minimum clearance on public sidewalks shall be provided by either an additional dedication of a sidewalk easement if necessary and widening of the sidewalk, or by the relocation of any obstructions within the public sidewalk along the frontage of the subject property.
- ENG 47. All damaged, destroyed, or modified pavement legends, traffic control devices, signing, striping, and street lights, associated with the proposed development shall be replaced as required by the City Engineer prior to issuance of a Certificate of Occupancy.
- ENG 48. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices (CAMUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.
- ENG 49. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

**FIRE DEPARTMENT:**

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Fire Marshal.

FID 1        These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire codes. Detailed plans are still required for review. Conditions are subject to final plan check and review.

FID 2        Fire Department Conditions were based on the 2019 California Fire Code as adopted by City of Palm Springs, Palm Springs Municipal Code, PSFD Appendix "T" Development Requirements. This building will require fire sprinklers.

FID 3        **Conditions of Approval** – "Conditions of Approval" received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.

FID 4        **Plans and Permits (CFC 105.1):**  
Permits and scaled drawings are required for this project. Plan reviews can take up to 20 working days. Submit a minimum of three (3) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set.

Plans shall be submitted to:

City of Palm Springs  
Building and Safety Department  
3200 E. Tahquitz Canyon Way  
Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer's technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall include all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supporting data,

(calculations and manufacturers technical data sheets) including fire flow data, shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

**FID 5**      **Access During Construction (CFC 503):** Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 24 feet and an unobstructed vertical clearance of not less than 13'-6". Fire Department access roads shall have an all-weather driving surface and support a minimum weight of 73,000 lbs.

**FID 6**      **Required access (CFC 504.1):** Exterior doors and openings required by this code or the California Building Code shall be maintained readily accessible for emergency access by the fire department. An approved access walkway leading from fire apparatus access roads to exterior openings shall be provided when required by the fire code official.

**FID 7**      **Construction Safety Plan:** The construction safety plan is going to be something little different but will include hot work requirements and will need to include the following: Site safety plans shall include the following as applicable:

- Name and contact information of site safety director.
- Documentation of the training of the site safety director and fire watch personnel.
- Procedures for reporting emergencies.
- Fire department vehicle access routes.
- Location of fire protection equipment, including portable fire extinguishers, standpipes, fire department connections and fire hydrants.
- Smoking and cooking policies, designated areas to be used where approved, and signage locations in accordance with Section 3305.8.
- Location and safety considerations for temporary heating equipment.
- Hot work permit plan.
- Plans for control of combustible waste material.
- Locations and methods for storage and use of flammable and combustible liquids and other hazardous materials.
- Provisions for site security.
- Changes that affect this plan.
- Other site-specific information required by the fire code official

**FID 8 Key Box Required to be Installed (CFC 506.1):** Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be flush mount type and shall contain keys to gain necessary access as required by the fire code official.

Secured emergency access gates serving apartment, town home or condominium complex courtyards must provide a key box in addition to association or facility locks. The nominal height of Knox lock box installations shall be 5 feet above grade. Location and installation of Knox key boxes must be approved by the fire code official.

**FID 9 Key Box Contents (CFC 506.1):** The Knox key box shall contain keys to all areas of ingress/egress, alarm rooms, fire sprinkler riser/equipment rooms, mechanical rooms, elevator rooms, elevator controls, plus a card containing the emergency contact people and phone numbers for the building/complex.

**FID 10 NFPA 13 Fire Sprinkler Systems Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13, 2016 Editions, as modified by local ordinance. Fire pumps maybe also be required due to the size of the building.

**FID 11 Fire Alarm Systems Required:** An automatic or manual fire alarm system is required. Only a C-10 licensed fire alarm contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 72, 2016 editions, as modified by local ordinance.

**FID 12 Turning Radius:** Fire access road turns and corners shall be designed with a minimum inner radius of 25 feet and an outer radius of 43 feet.

**FID 13 Dead Ends:** Dead-end fire apparatus roads in excess of 150 feet in length shall be provided with an approved area for turning around a fire apparatus.

**FID 14 Designated Fire Lanes:** in private developments shall be not less than 26 feet wide due to the buildings height (curb face to curb face) with no parking on either side and shall be identified as afire lanes with red curb,

stating in white lettering " NO PARKING FIRE LANE", or by approved signage, or by both red curb with lettering and signage.

- FID 15      **Fire Department Access Roads/Driveways:** Shall be provided so that no portion of the exterior wall of the first floor of any building will be more than 150 feet from such roads.
- FID 16      **Private Fire Hydrants:** Additional private hydrants may be required.

**END OF CONDITIONS**





**GLA Design Group**  
**Drafting – Design - Land Planning**  
75178 Gerald Ford Bldg. B1,  
Palm Desert, Ca. 92211  
760.573.0175

## Letter of Justification

March 1, 2024

City of Palm Springs  
Christopher Hadwin  
City Planning Department  
3200 E Tahquitz Canyon Way  
Palm Springs, CA, 92260

**Subject:** Justification Letter for 19345 Newhall Street

Dear Director Hadwin,

I am writing to present a formal justification letter for **19345 Newhall Street Industrial Building**, is an industrial building for a glass company in the City of Palm Springs. The owner Stephen Witfield: is a young / responsible business leader who has been doing business in this vibrant community for a long time.

**19345 Newhall Street Industrial Building** is eager to contribute to the growth and development of the City of Palm Springs while ensuring the well-being of our community.

Site Address  
19345 Newhall Street  
Palm Springs, CA 92264

### Project Description:

**19345 Newhall Street Industrial Building** is a two-story building of 6,780 square feet in the industrial manufacturing zone in the City of Palm Springs. Parking will be provided adjacent to the building. 19345 Newhall Street will be providing 13 parking spaces for employees and customers. The maximum patrons and employees will be <8 at a time with most of them being on site installers. The hours of operation will be Monday - Friday from 7:00 pm to 4:00 am. Saturday and Sunday's are closed for business

### Projection Information:

**19345 Newhall Street Industrial Building** will comply with all Fire, Building, Health, Planning, and Police codes. Although not required by code, the building will have at least two or more exit routes to permit prompt evacuation of employees during an emergency.

**Neighborhood Compatibility:**

**19345 Newhall Street Industrial Building** is committed to being good neighbors and fostering positive relationships with the surrounding business community. Our business will actively engage in community outreach programs, participating in local events and supporting charitable initiatives.

**19345 Newhall Street Industrial Building** is dedicated to operating responsibly, addressing any potential concerns, and working collaboratively with the city and its residents to ensure a safe harmonious coexistence.

Thank you for considering our request. We eagerly await the opportunity to contribute positively to the City of Palm Springs. Should you require any additional information or have any questions, please do not hesitate to contact me at your convenience.

Sincerely,

*Gabriel Lujan*

Design Consultant

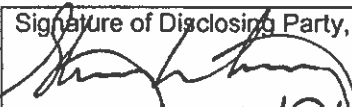


PUBLIC INTEGRITY DISCLOSURE
APPLICANT DISCLOSURE FORM

1. Name of Entity: Lockend, LLC
2. Address of Entity (Principle Place of Business): P.O. Box 580354, N. Palm Springs CA 92258
3. Local or California Address (if different than #2)
4. State where Entity is Registered with Secretary of State: California
If other than California, is the Entity also registered in California? Yes No
5. Type of Entity: Limited Liability Company
6. Officers, Directors, Members, Managers, Trustees, Other Fiduciaries (please specify)
Note: If any response is not a natural person, please identify all officers, directors, members, managers and other fiduciaries for the member, manager, trust or other entity
Stephen Whitfield [name] Officer
Karen Whitfield [name] Officer

7. Owners/Investors with a 5% beneficial interest in the Applicant Entity or a related entity	
<b>EXAMPLE</b>  <b>JANE DOE</b>  <hr/> [name of owner/investor]	50%, ABC COMPANY, Inc.  <hr/> [percentage of beneficial interest in entity and name of entity]
<b>A.</b>  Stephen Whitfield  <hr/> [name of owner/investor]	51% Lockend, LLC  <hr/> [percentage of beneficial interest in entity and name of entity]
<b>B.</b>  Karen Whitfield  <hr/> [name of owner/investor]	49% Lockend, LLC  <hr/> [percentage of beneficial interest in entity and name of entity]
<b>C.</b>  <hr/> [name of owner/investor]	<hr/> [percentage of beneficial interest in entity and name of entity]
<b>D.</b>  <hr/> [name of owner/investor]	<hr/> [percentage of beneficial interest in entity and name of entity]
<b>E.</b>  <hr/> [name of owner/investor]	<hr/> [percentage of beneficial interest in entity and name of entity]

**I DECLARE UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING IS TRUE AND CORRECT.**

Signature of Disclosing Party, Printed Name, Title  Stephen Whitfield, President	Date 8/22/24
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**PENALTIES**  
 Falsification of information or failure to report information required to be reported may subject you to administrative action by the City.



# "A MAJOR ARCHITECTURAL USE PERMIT"

IN THE CITY OF PALM SPRINGS, STATE OF CALIFORNIA

## ARCHITECTURAL GLAZING

BEING A PORTION OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 4 EAST,  
SAN BERNARDINO MERIDIAN



**GLA DESIGN GROUP LLC.**

**A JOINT VENTURE**

**WITH:**

**GABRIEL LUJAN**

**& ASSOCIATES**

DRAFTING ● DESIGN ● LAND PLANNING

**GABRIEL LUJAN**  
PRINCIPAL DESIGNER

75178 GERALD FORD DR., STE. B1  
PALM DESERT, CA. 92211  
CELL: (760) 573-0175 (760) 674-8100  
EMAIL- glujan@gladesigngroup.com

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NO.	REVISIONS	DATE
1		
2		

An Industrial Building  
FOR:  
**Architectural  
Glazing**  
19345 New Hall St.  
Palm Springs, CA. 92254

SHEET TITLE

**COVER SHEET**

DRAWN G.L.A.	SHEET NUMBER <b>CS</b>
CHECKED G.L.A.	
DATE JANUARY 2024	
SCALE AS NOTED	JOB NO. PSP-0101-2K24

Printed On: 02/20/24

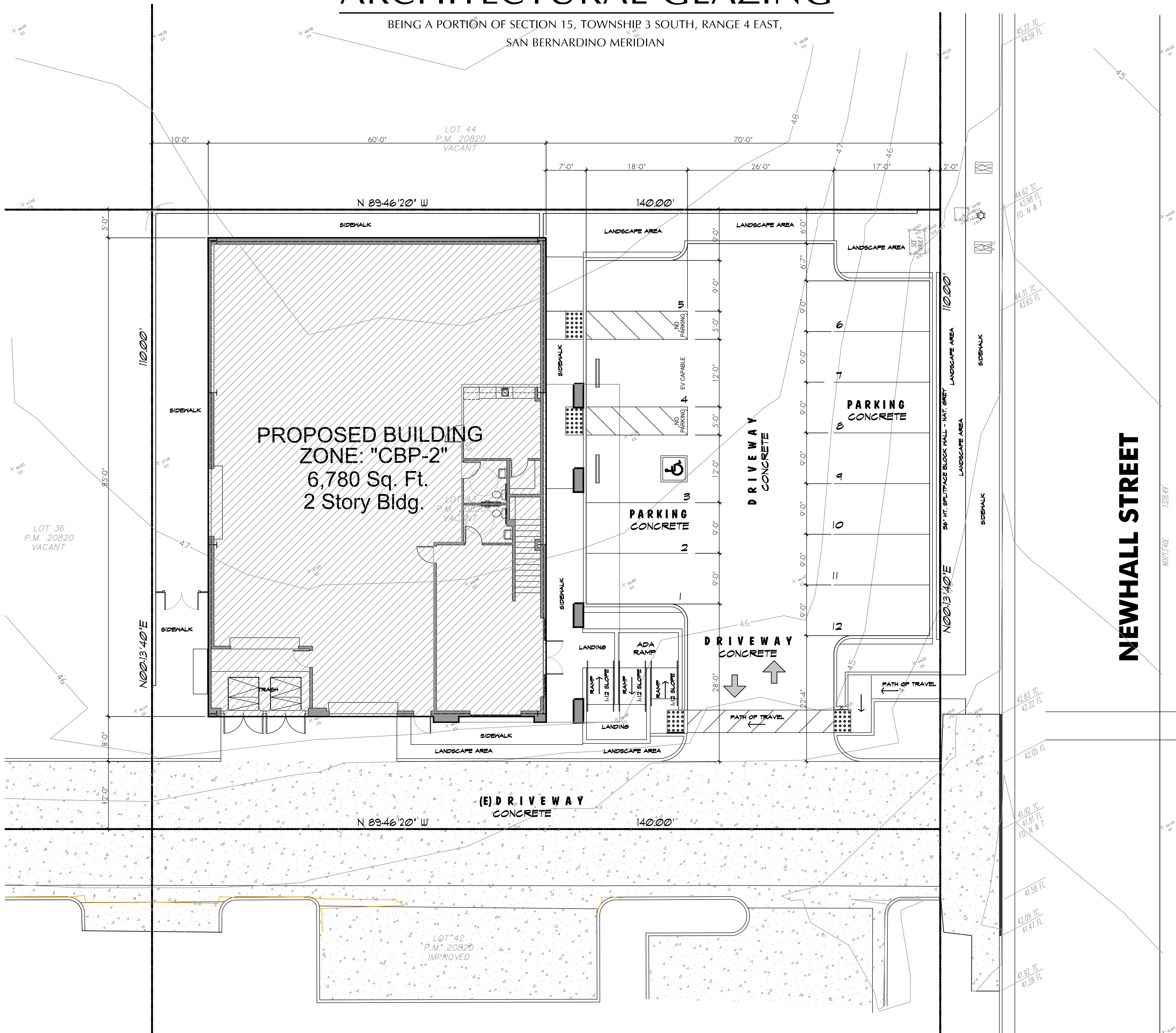
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# "A MAJOR ARCHITECTURAL USE PERMIT"

IN THE CITY OF PALM SPRINGS, STATE OF CALIFORNIA

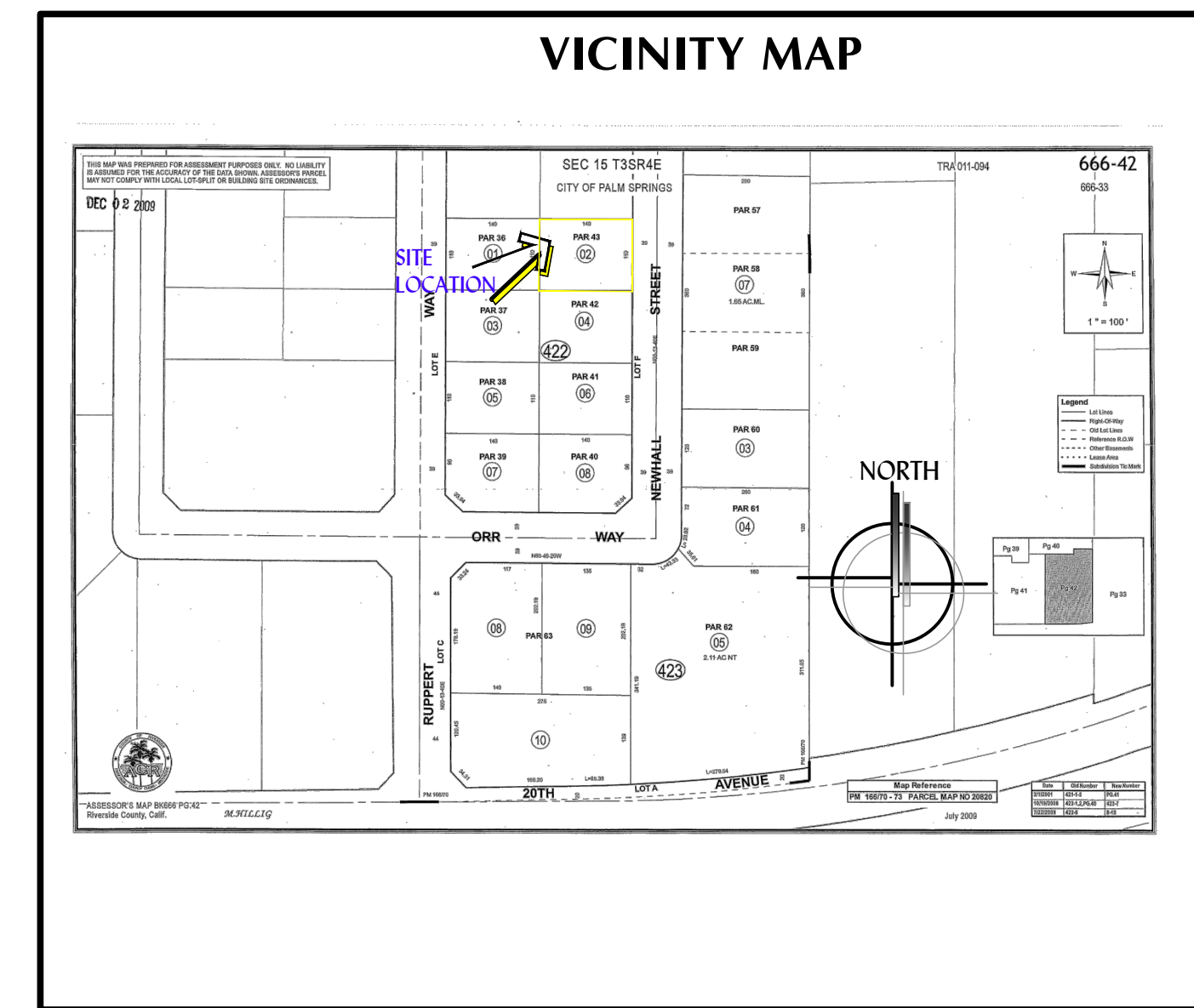
## ARCHITECTURAL GLAZING

BEING A PORTION OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 4 EAST,  
SAN BERNARDINO MERIDIAN



### PRELIMINARY SITE PLAN

SCALE: 1" = 10'-0"



### GENERAL INFORMATION

**OWNER/APPLICANT/DEVELOPER:**

Lockend, LLC.  
Architectural Glazing  
19345 Newhall St.  
Palm Springs, CA, 92258  
760.401.1093 Email: stephen.architecturalglazingv.com

**PROJECT ADDRESS:**

19345 Newhall St.  
PALM SPRINGS, CA 92258

**ASSESSOR'S PARCEL NO.:**

666-422-002

**ACREAGE:**

GROSS: .35 ± ACRES

**LEGAL DESCRIPTION:**

Recorded Book/Page: PM 166 Pages 70-73  
Subdivision name: PALM SPRINGS  
Parcel Map 20820  
Block: Not Available  
Tract Number: ---

**PARKING DATA:**

WAREHOUSE (Per Sectio: 93.06.00)  
4,137 Sq. Ft.: @ 1 / 800 = 5 SPACES

**OFFICE:**

1,067 SQ. FT. @ 1/250 = 4 SPACES

TOTAL REQUIRED = 9 SPACES

TOTAL SPACES PROVIDED = 12 SPACES

(Areas not included: Stairways/Toilets/Lounge Area/Wall Thicknesses)

**BUILDING DATA:**

TOTAL BLDG.: FIRST FLOOR: 5,100 SQ. FT.  
SECOND FLOOR: 1,780 SQ. FT.  
TOTAL BUILDING SQ. FT.: 6,780 SQ. FT.

**SITE DATA:**

PROPOSED BUILDING PAD: 1,780 SQ. FT. 12%  
TOTAL LANDSCAPE AREA: 1,566 SQ. FT. 10%  
TOTAL HARDSCAPE AREA: 12,060 SQ. FT. 78%  
LAND AREA: 15,400 SQ. FT. 100%

**TENANT IMPROVEMENT DATA:**

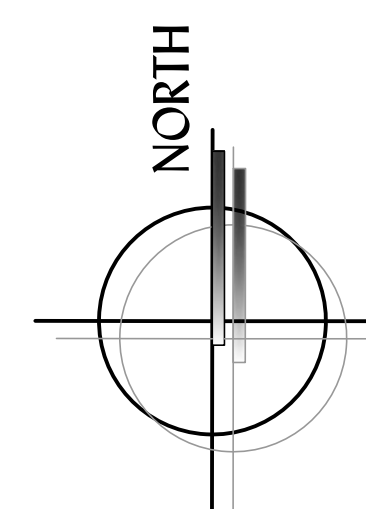
PROPOSED OCCUPANCY: F1/B  
CONSTRUCTION TYPE: V-B  
SPRINKLERED: YES  
NO. OF STORIES: 2

### UTILITY PURVEYORS

SEWER & WATER: MISSION SPRINGS WATER DISTRICT (760) 329-6448  
TELEPHONE: FRONTIER (1855) 901-8854  
ELECTRICITY: SOUTHERN CALIFORNIA EDISON (1800) 655-4555  
GAS: SOUTHERN CALIFORNIA GAS COMPANY (1800) 427-2200  
CABLE: SPECTRUM (1855) 522-4266  
SCHOOL: PALM SPRINGS UNIFIED SCHOOL DISTRICT (760) 416-6000

### SHEET INDEX

P1 EXISTING SITE PLAN  
P2 LOWER LEVEL FLOOR PLAN  
P2.5 UPPER LEVEL FLOOR PLAN  
P3 EXTERIOR ELEVATIONS  
P4 EXTERIOR ELEVATIONS  
P5 ROOF PLAN  
P5.5 SECTIONS  
P6 COLORED RENDERINGS  
L1 LANDSCAPE PLAN  
PH1 PHOTOMETRIC PLAN



**GLA DESIGN GROUP LLC.**  
A JOINT VENTURE  
WITH:  
**GABRIEL LUJAN & ASSOCIATES**

DRAFTING ● DESIGN ● LAND PLANNING

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CELL: (760) 573-0175 (760) 674-8100  
EMAIL: glujan@gladesigngroup.com

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An Industrial Building  
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Glazing**  
19345 New Hall St.  
Palm Springs, CA. 92254

SHEET TITLE

**PRELIMINARY  
SITE PLAN**

DRAWN  
G.L.A.  
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G.L.A.  
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SCALE  
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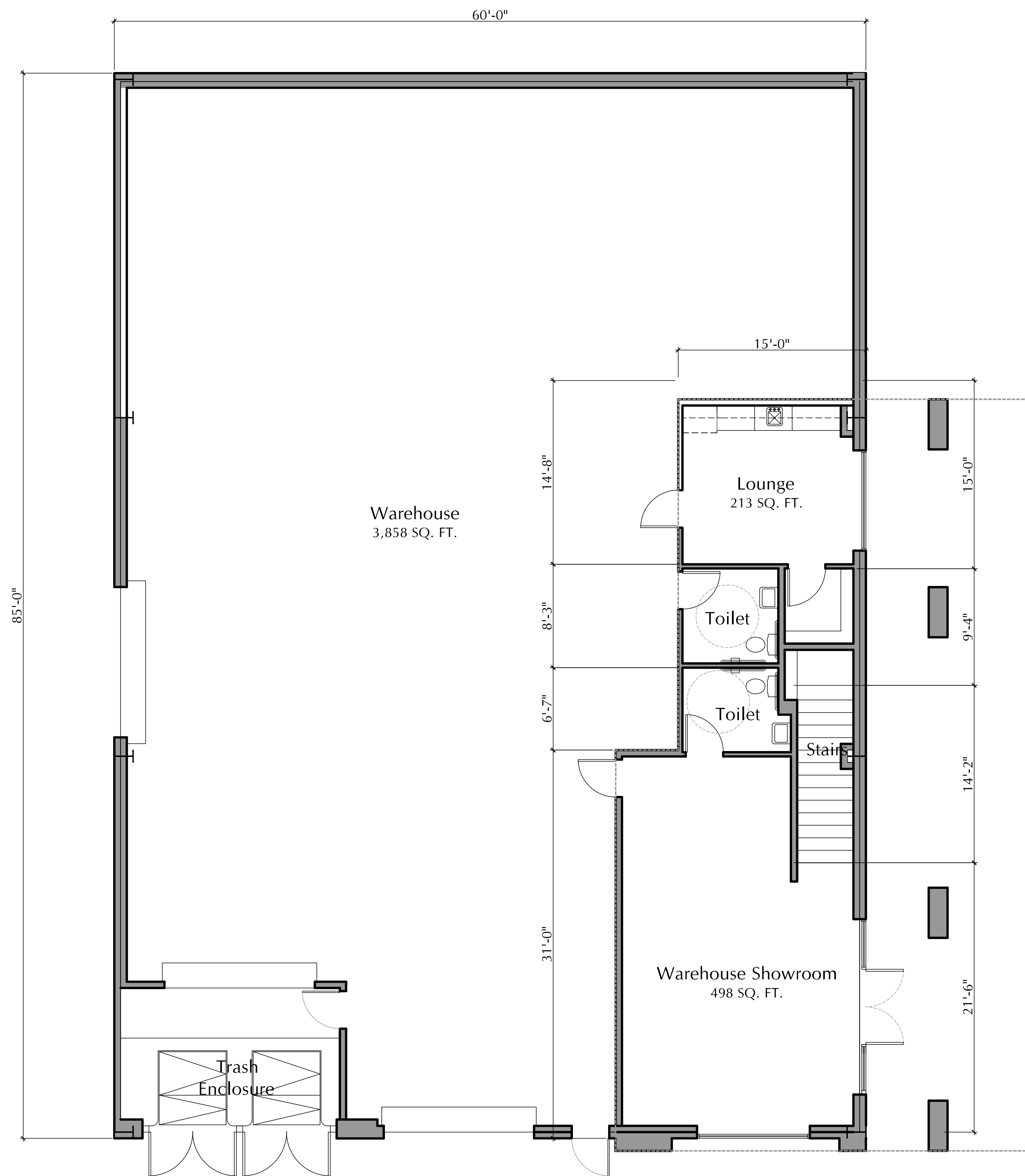
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JOB NO.

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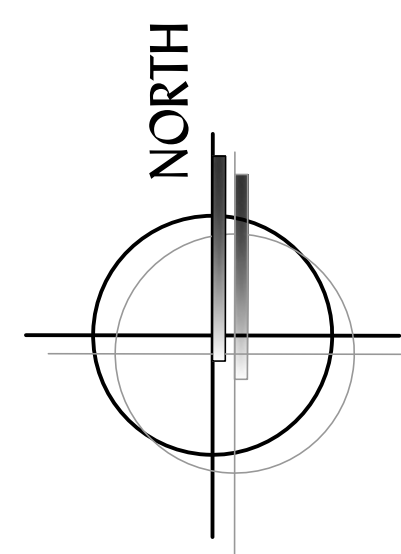
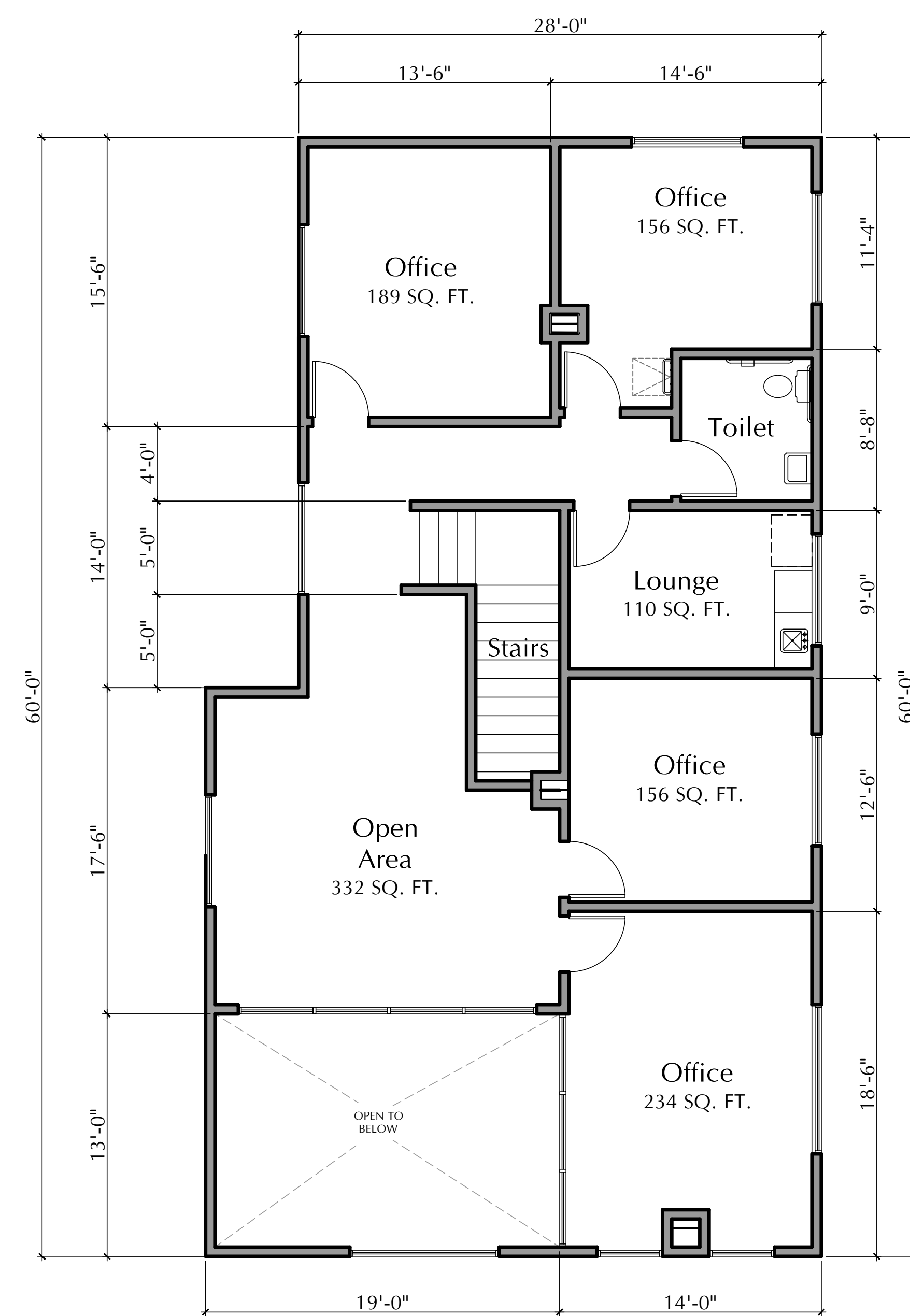
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**"LOWER LEVEL"  
FLOOR PLAN**

SCALE: 3/16" = 1'-0"



**"UPPER LEVEL"  
FLOOR PLAN**

SCALE: 3/16" = 1'-0"



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PRELIMINARY  
FLOOR PLANS

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JANUARY 2024

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SHEET NUMBER

**P2**

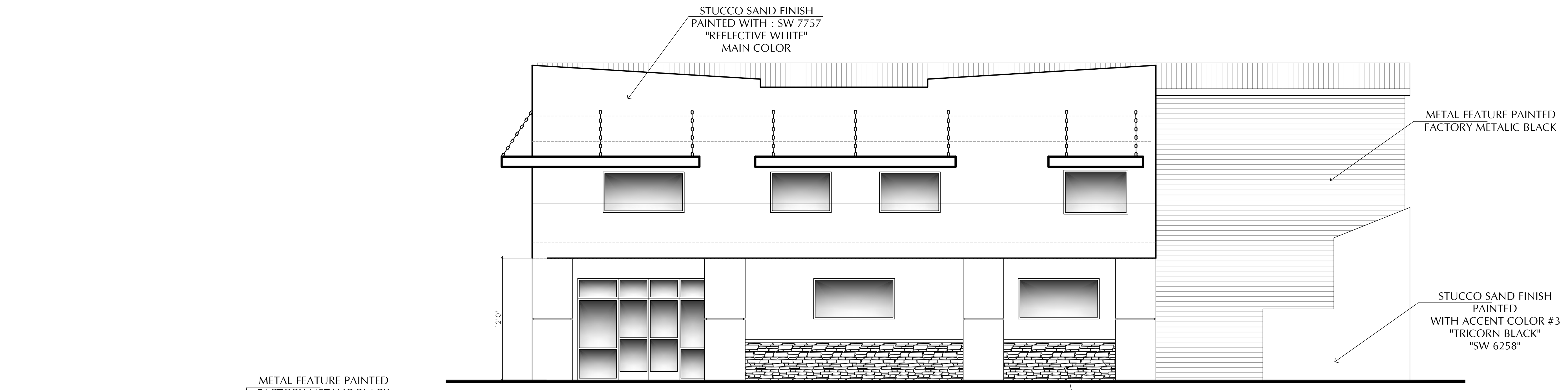
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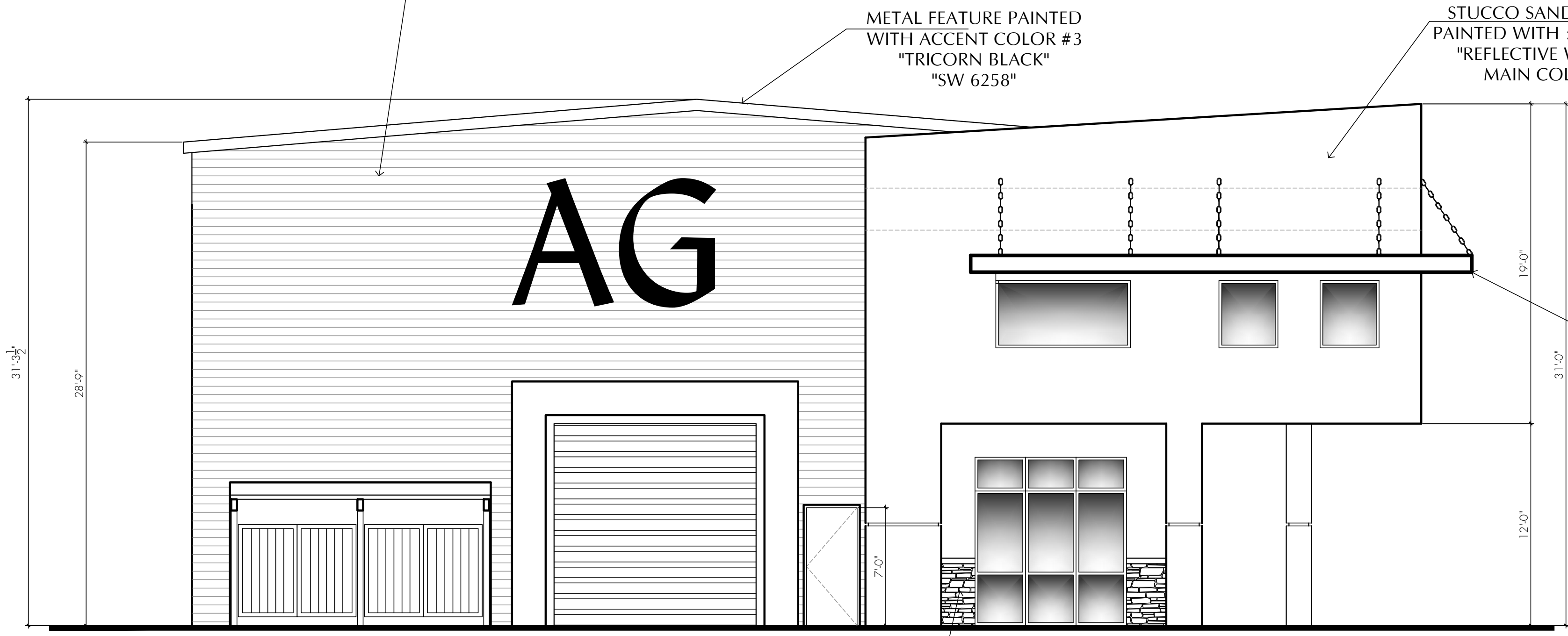
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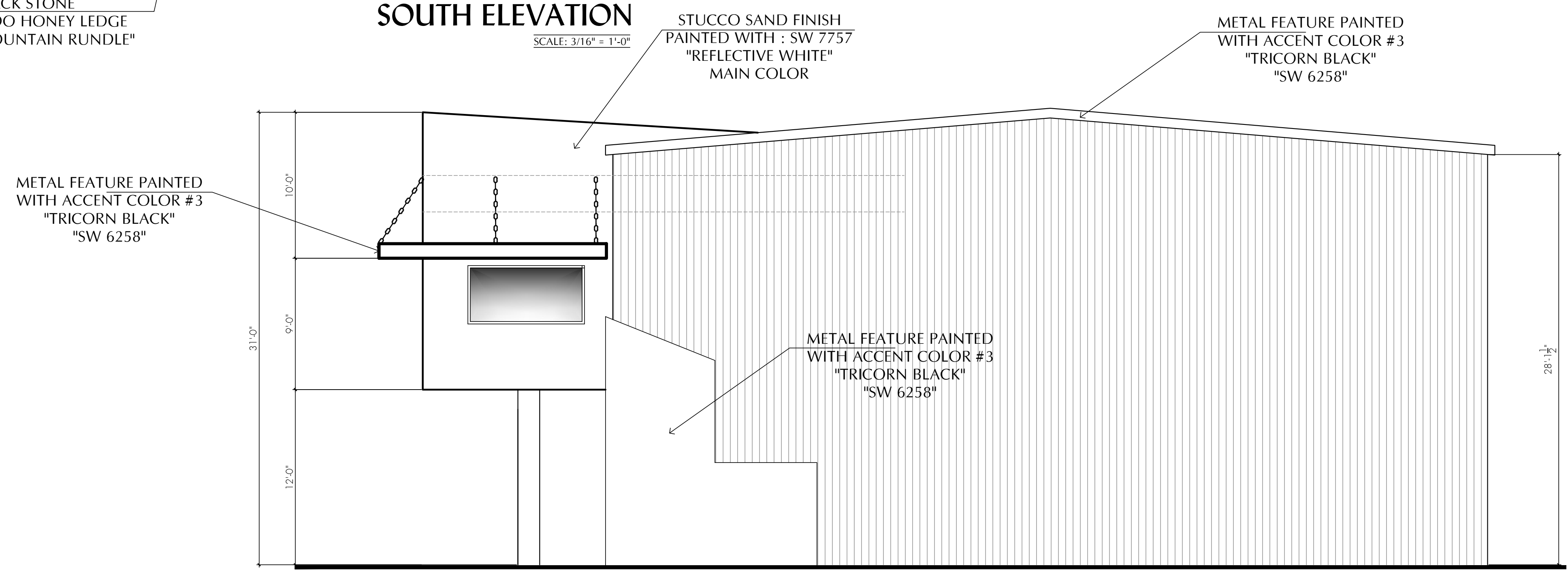




**EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



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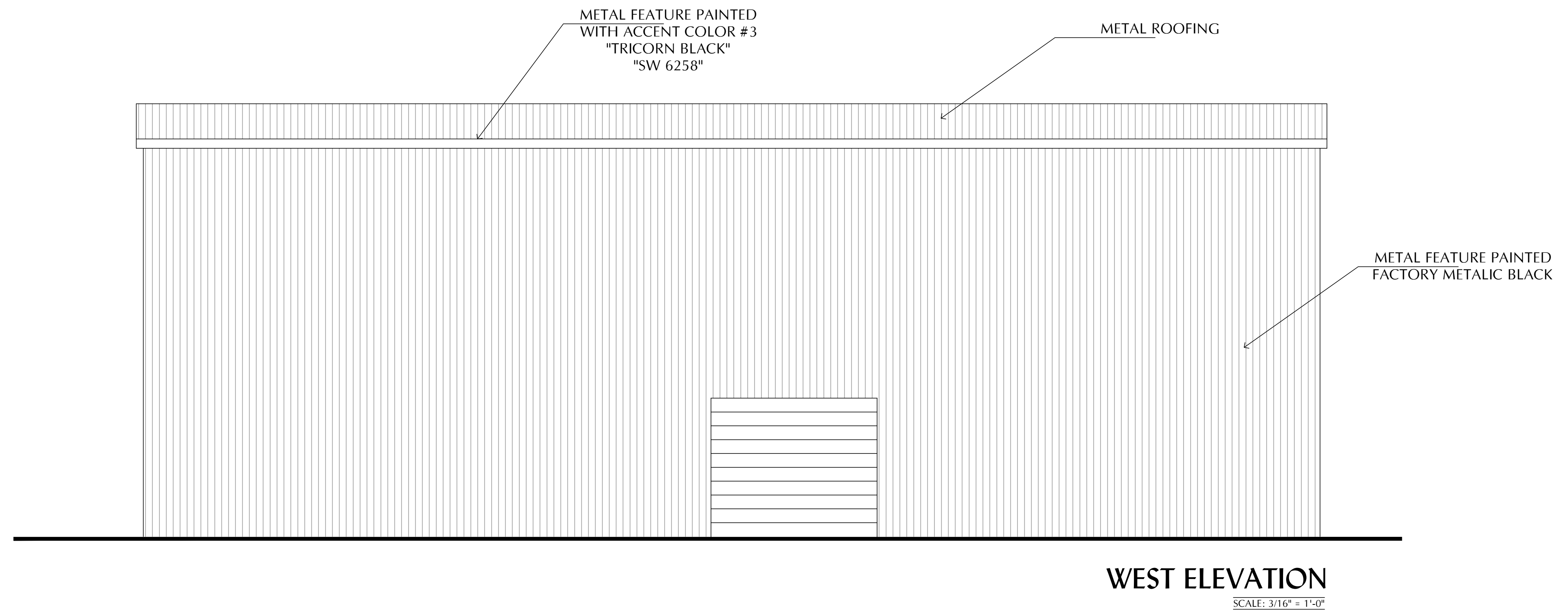
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SHEET TITLE  
**PRELIMINARY  
ELEVATIONS**

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**WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



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ELEVATIONS**

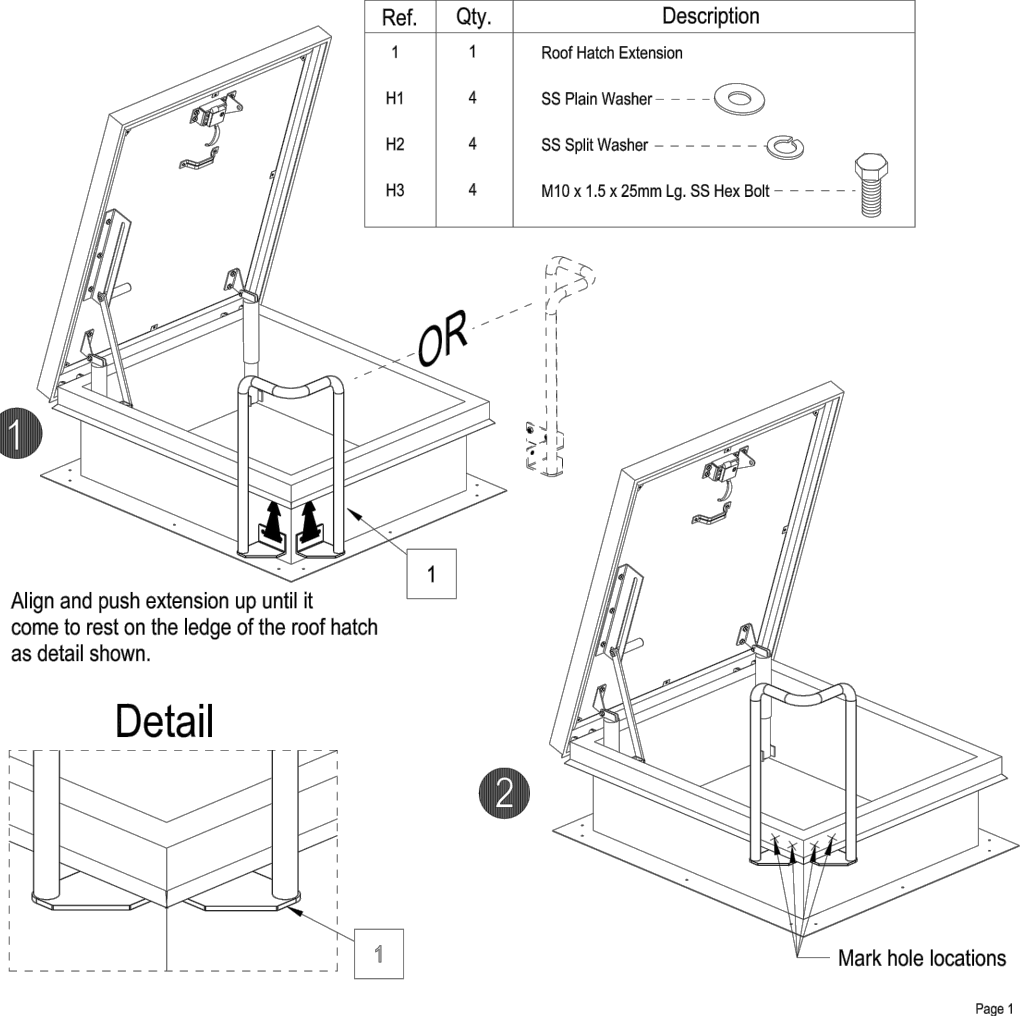
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**GLOBAL**  
www.globalindustrial.com  
US: 888-628-3486  
Canada: 888-645-2986  
Mexico: 01 800 681 6940

**Roof Hatch Extension**  
Assembly Instruction  
Model 713157

Ref.	Qty.	Description
		Contents
1	1	Roof Hatch Extension
H1	4	SS Plain Washer
H2	4	SS Split Washer
H3	4	M10 x 1.5 x 25mm Lp. SS Hex Bolt



Align and push extension up until it comes to rest on the ledge of the roof hatch as detail shown.

**Detail**

Mark hole locations

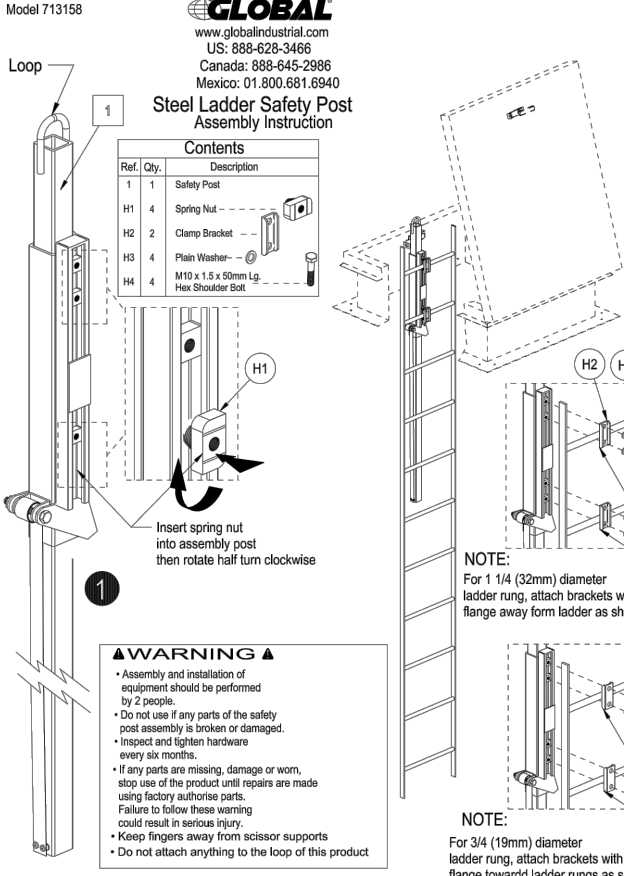
**GLOBAL**  
www.globalindustrial.com  
US: 888-628-3486  
Canada: 888-645-2986  
Mexico: 01 800 681 6940

**Steel Ladder Safety Post Assembly**

Model 713159

Contents

Qty.	Description
1	Safety Post
1	Washer
1	Class Anchor
1	Hex Washer
1	Hex Nut
1	Hex Lock Washer



**WARNING**  
As shown, installation of support must be performed by 2 persons.  
Do not use the ladder post assembly to attach to damaged or weak roof structure.  
If any one is working on or near the roof structure, all workers must be properly secured.  
Do not work on roofs with snow, ice, or other hazardous conditions.  
Do not work on roofs with loose or missing sheathing.  
Do not work on roofs with missing or damaged structural members.  
Do not work on roofs with missing or damaged support members.  
Do not work on roofs with missing or damaged connections.  
Do not work on roofs with missing or damaged fasteners.  
Do not work on roofs with missing or damaged decking.  
Do not work on roofs with missing or damaged joists or trusses.  
Do not work on roofs with missing or damaged rafters or purlins.  
Do not work on roofs with missing or damaged beams or girders.  
Do not work on roofs with missing or damaged columns or walls.  
Do not work on roofs with missing or damaged foundations.  
Do not work on roofs with missing or damaged anchors or ties.  
Do not work on roofs with missing or damaged bracing.  
Do not work on roofs with missing or damaged diaphragms.  
Do not work on roofs with missing or damaged soffits or fascia.  
Do not work on roofs with missing or damaged gutters or downspouts.  
Do not work on roofs with missing or damaged parapets or curbs.  
Do not work on roofs with missing or damaged copings or ledges.  
Do not work on roofs with missing or damaged sills or lintels.  
Do not work on roofs with missing or damaged sills or lintels.  
Do not work on roofs with missing or damaged sills or lintels.

**ROOF PLAN NOTES**

- CONTRACTOR TO CONFIRM THAT ALL AREAS ARE PROVIDED WITH POSITIVE DRAINAGE PRIOR TO SHEATHING.
- ALL ELEVATIONS GIVEN ARE REFERENCED TO TOP FLOOR SLAB ELEVATION.
- VERIFY SIZES AND LOCATIONS OF ALL ROOF OPENING PLATFORMS, ETC. WITH RESPECTIVE CONTRACTORS.
- WHERE VENT PIPES PENETRATE ROOF SHEATHING REFER TO DETAIL /A-.
- BUILT-UP ROOF (BASED ON "CONGLASS" ND-24-24 CAP, CLASS "A") 1-LAYER 25.
- A/C UNIT HEIGHTS PROVIDED SHALL NOT EXCEED PARAPET HEIGHT.
- ROOF'S MINIMUM PITCH IS 1/4" PER FT.
- DRAFT STOP SHALL BE INSTALLED IN ATTIC, MANSARD OVERHANG AND SIMILAR CONCEALED SPACES SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED \_\_\_\_\_ SQ. FT. NOR 100' BETWEEN STOPS.

GUTTER W/ DOWN SPOUT

1"/FT. SLOPE

METAL ROOF

RIDGE

1"/FT. SLOPE

METAL ROOF

RIDGE

1"/FT. SLOPE

GUTTER W/ DOWN SPOUT

NEW BUILT UP ROOF

ACCESS TO ROOF

SLOPE 1/4"/FT.

SLOPE 1/4"/FT.

GUTTER W/ DOWN SPOUT

**ROOF PLAN**  
3/16"=1'-0"

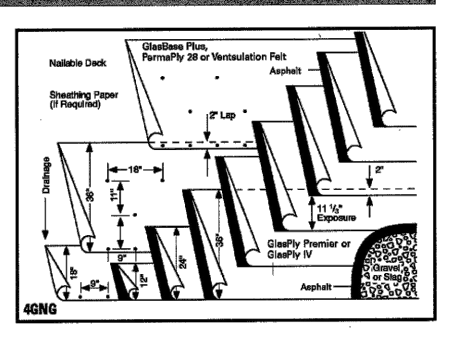
**JM**  
Johns-Manville

**BUR Asphalt-Applied Specifications**  
46NG

**Four-Ply Glass-Fiber Reinforced Fiber Glass Built-Up Roof**. For use over roof or other suitable decks on inclines of up to 2° per ft (200 mm).

Membrane per 100 sq ft (9.3 sq m) of Roof Area

Application	Approximate Weight	Total Weight
Up to 7:1 (21°)	125 lb (57 kg)	493 lb (224 kg)
Up to 3:1 (9.5°)	140 lb (64 kg)	560 lb (254 kg)
Up to 2:1 (6.3°)	160 lb (73 kg)	640 lb (290 kg)



Download the digitalized version of each file, then scan over of rolls spaced approximately 1" (25 mm) apart, with the rolls staggered as shown.

Aggregate density, size and coverage will determine membrane weight.

**BUILT-UP ROOFING SPECIFICATIONS & NOTES FOR CLASS A ROOF**

MANUFACTURER: JOHNS-MANVILLE  
PRODUCT: "66NG" OR EQUAL ASTM E 108 - 4 PLY BUILT-UP ROOF WITH GRAVEL SURFACE

- ROOF SYSTEM SHALL BE A CLASS "A" IN COMPLIANCE WITH UL NO. TGF914/18197
- BUILT-UP ROOFING:**
  - CONTRACTOR IS RESPONSIBLE TO INSTALL THE AGING BUR PER MANUFACTURER'S SPECIFICATIONS.
  - BASE SHEET: APPLY ONE LAYER USING JOHNS-MANVILLE FIBER GLASS 1/4" OR FIBER GLASS 1/2" PREMIUM WITH "SIMPLEX" TYPE FASTENERS OF SUFFICIENT LENGTH TO PENETRATE THE SUBSTRATE AND AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. CALL APPROVED AND MARKING PATTERNS.
  - ADDITIONAL LAYERS: APPLY 3 LAYERS OF JOHNS-MANVILLE QUARRY PREMIUM OR QUARRY PLUS SO THAT AT LEAST 3 PLYS OF FELT COVER THE BASE FELT. EACH FELT PLY IS TO BE FIRMLY AND UNIFORMLY SET, WITHOUT VOIDS INTO THE HOT ASPHALT. APPLY JOHNS-MANVILLE FIBER GLASS 1/4" OR FIBER GLASS 1/2" PREMIUM OVER THE ENTIRE SURFACE.
  - SUBSTRATE: FLOOR SURFACE WITH THE APPROPRIATE ASPHALT AT APPROXIMATE RATE OF 60 LB/100 SQ. FT. INTO THE HOT ASPHALT. ENSURE AN ACCEPTABLE GRADE AT A RATE OF MINOR TIPS OR AN ACCEPTABLE GRADE AT A RATE OF 1/8" PER 10'. APPROXIMATE 1/8" PER 10' (3 mm PER 300 mm). AGGREGATE MUST BE INSTALLED SO THAT THERE IS COMPLETE COVERAGE ACROSS THE ENTIRE SURFACE AND AT LEAST 50 PERCENT OF THE AGGREGATE IS FULLY EXPOSED IN THE HOT ASPHALT. AGGREGATE SHOULD MEET THE REQUIREMENTS OF ASTM D 1862.
  - SURFET: A SURFET OF DIFFERENT GRAVEL SIZES AND COLOR SAMPLES FOR ARCHITECT'S APPROVAL PRIOR TO INSTALLING ROOFING.
- SLOPE ROOF:** 1/4" PER FOOT MINIMUM. NOT TO EXCEED MANUFACTURER'S MAXIMUM SLOPE.
- PROVIDE A 3" MIN. HIGH PARAPET CANT STRIP AT PARAPETS AND WHERE REQUIRED FOR TRANSITIONS TO A VERTICAL PERPENDICULAR SURFACE.

**General:**  
This specification is for use over any type of approved structural steel (mechanical fasteners) which can receive and adequately retain nails or other types of mechanical fasteners that may be recommended by the deck manufacturer. Examples of such decks are wood and plywood. This specification is for use over decks over (including) insulating concrete decks.  
**Decking and Installation of the Deck and/or Substrate must result in the roof draining freely and to water containment and as intended so as to ensure water integrity and completely. Drainage water parallel more than 24 hours are unacceptable and are not eligible to receive a JM Roofing System Guarantee.**

**Note:** All general instructions contained in the current JM Commercial/Industrial Roofing System Manual should be considered part of this specification.

**Flashings:**  
Roofing details can be found in Section 3 of the JM Commercial/Industrial Roofing System Manual.

**Application:**  
One wood board deck, one ply of sheathing paper must be used under the base felt and on top of the wood board deck.  
**Note:** On roof decks with slopes up to 7° per foot (21°), the roofing felt may be installed either parallel to or perpendicular to the roof slope. On slopes over 7° per foot (21°), refer to Paragraph 1.1.2 of Section 3b for special requirements.

**Using One-Ply Plus, Plym-Ply 28 or Ventilation Felt:** Start with a 1" (25 mm) wide strip of a specific base sheet used by a condition of Government). The following base sheet courses are to be applied full width, keeping the prevailing 6" (152 mm) strip on the side laps and 4" (102 mm) on the end laps. Nail the side laps @ 1200 mm c.c.

**Using Quality Premier or Quality 74:** Apply a piece 1" (25 mm) wide, then over that, one 2" (51 mm) wide, then over both, a full width piece. The following felt is to be applied full width, overlapping the preceding felt by 240" (207 mm) so that at least 3" (76 mm) of felt cover the base felt substrate at all locations. Install base felt in the same order and manner as without nails, into the hot asphalt (200° (392°F) of the 10X) applied just before the felt at a several sets of 15' (4.57 m) by 15' (4.57 m) over the entire surface.

**Surface:**  
Finish the surface with the appropriate asphalt at an approximate rate of 60 lb/100 ft<sup>2</sup> (28 kg/28 m<sup>2</sup>), into the hot asphalt, unless an acceptable ground or rate of 400 lb/100 ft<sup>2</sup> (181 kg/28 m<sup>2</sup>) or an acceptable slope of 4 in 100 ft (102 mm/30 m). Aggregates must be installed so that there is complete coverage across the entire surface and at least 50 percent of the aggregate is fully exposed in the hot asphalt. Aggregates should meet the requirements of ASTM D 1862.

**Asphalt:**  
Asphalt should meet the requirements of ASTM D 312.  
JM guarantees require the use of Transbond™ asphalt or another JM-approved asphalt.  
Check with a JM Technical Services Specialist for special asphalt requirements in hot climates.

**Note:** For the most current information on general guidelines, please refer to the System Considerations and Substrate Information Sections in the JM Roofing Manual. For more information, including details and general installation information, please refer to the System Application Manual.

**\*Trademarked trademarks of Johns-Manville.**  
Refer to the Material Safety Data Sheet and product label prior to using this product.

**NOTE:**  
"NO DISCHARGE OF CONDENSATE FROM AIR CONDITIONING UNITS, EVAPORATIVE COOLER, FIRE SUPPRESSION SYSTEMS OR FIRE SUPPRESSION TESTING MAY DRAIN INTO THE SANITARY SEWER. THE DISCHARGE LOCATIONS NOTED HEREON TO BE COORDINATED WITH THE CITY OF INDIO.

**NOTE:**  
INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

**NOTE:**  
ROOF DRAINS SHALL NOT OVERFLOW OVER PUBLIC PROPERTY, OR ADJACENT PROPERTIES. CPC 1101.2

**[X] ROOF KEY NOTES LEGEND**

A- CLASS "A" 4 PLY BUILT-UP ROOFING 1/4" PER FT. SLOP FOR DRAINAGE

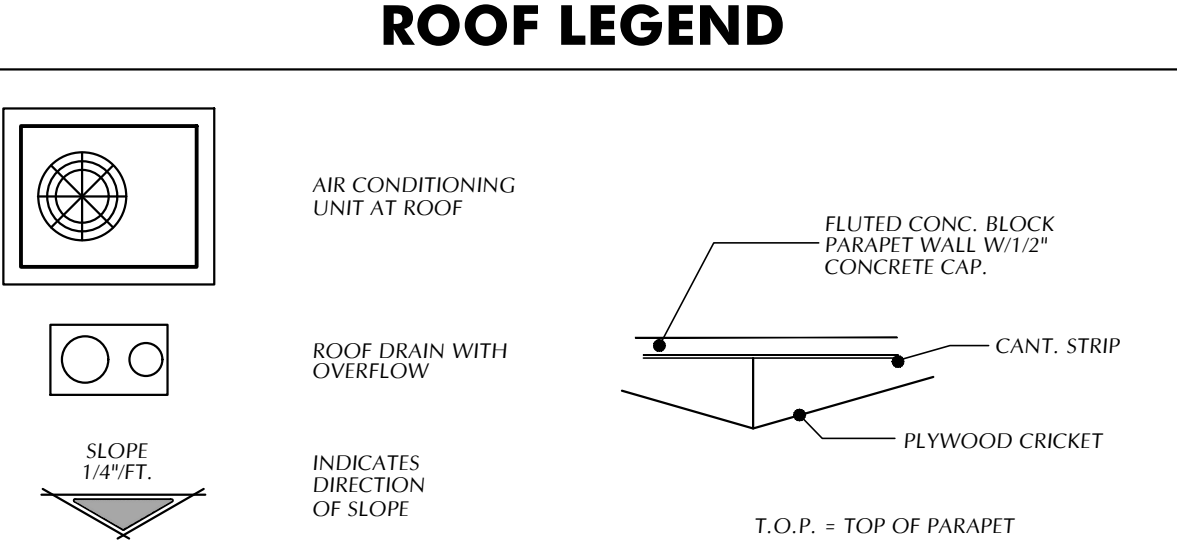
B- BUILT-UP PLYWOOD CRICKET

C- 3" CANT STRIP

D- ROOF DRAIN w/ OVERFLOW DRAIN SEE PLAN FOR SIZE

E- ROOF ACCESS HATCH

**ROOF LEGEND**



AIR CONDITIONING UNIT AT ROOF

ROOF DRAIN WITH OVERFLOW

INDICATES DIRECTION OF SLOPE

FLUTED CONC. BLOCK PARAPET WALL W/1/2" CONCRETE CAP.

CANT. STRIP

PLYWOOD CRICKET

T.O.P. = TOP OF PARAPET

Proposed Roof Area :  
2,509 Sq. Ft  
Roof Drain Designed:  
2 - 3" Dia Roof Drains  
at 2"/Hr. will drain  
1,068 Sq. Ft. Each  
2 x 1,068 = 2,136 Sq. Ft.



**GLA DESIGN GROUP LLC.**  
A JOINT VENTURE  
WITH:  
**GABRIEL LUJAN & ASSOCIATES**

DRAFTING • DESIGN • LAND PLANNING

GABRIEL LUJAN  
PRINCIPAL DESIGNER

75178 GERALD FORD DR., STE. B1  
PALM DESERT, CA. 92211  
CELL: (760) 573-0175 (760) 674-8100  
EMAIL: glujan@gladesigngroup.com

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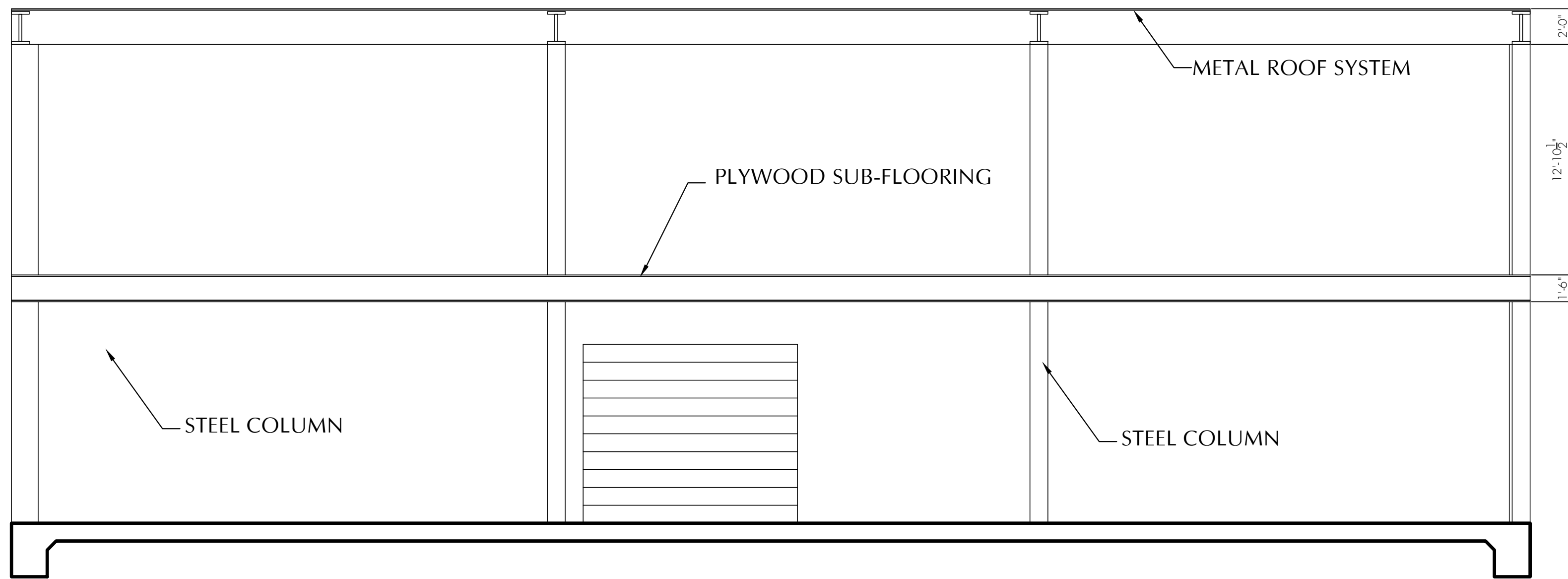
NO.	REVISIONS	DATE
1		
2		

An Industrial Building  
FOR:  
**Architectural Glazing**  
19345 New Hall St.  
Palm Springs, CA. 92254

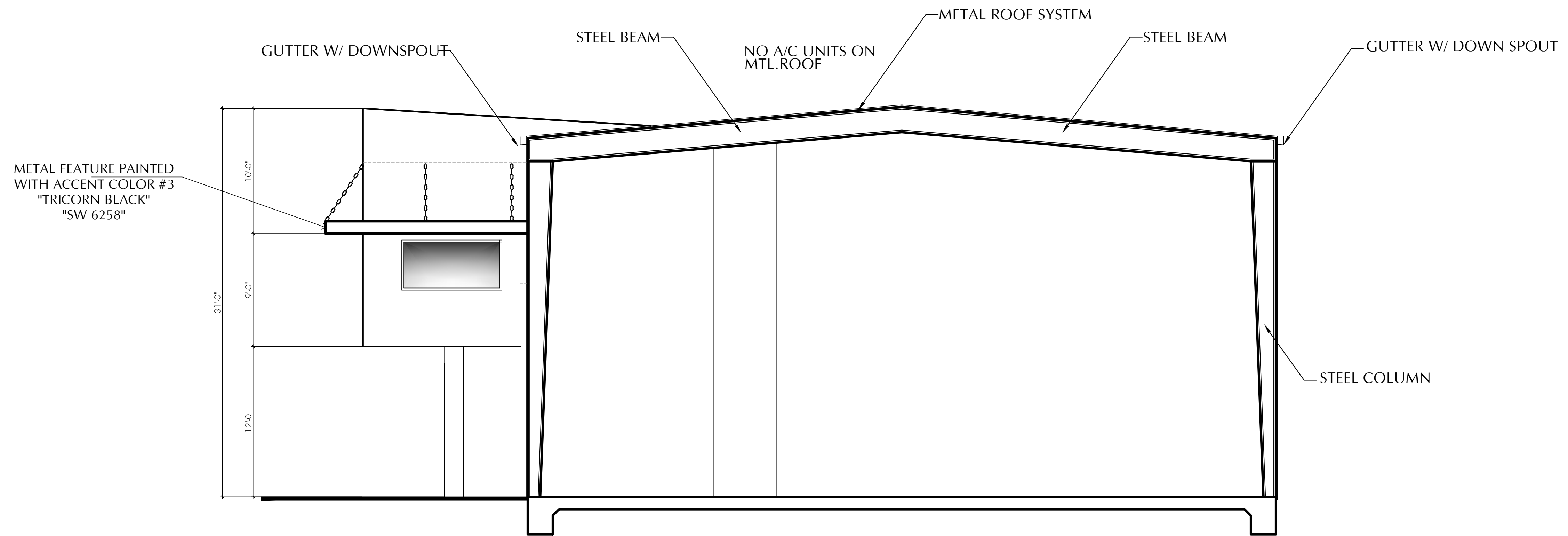
SHEET TITLE  
**ROOF PLAN**

DRAWN G.L.A.	SHEET NUMBER <b>P4</b>
CHECKED G.L.A.	
DATE JANUARY 2024	JOB NO. PSP-0101-2K24
SCALE AS NOTED	

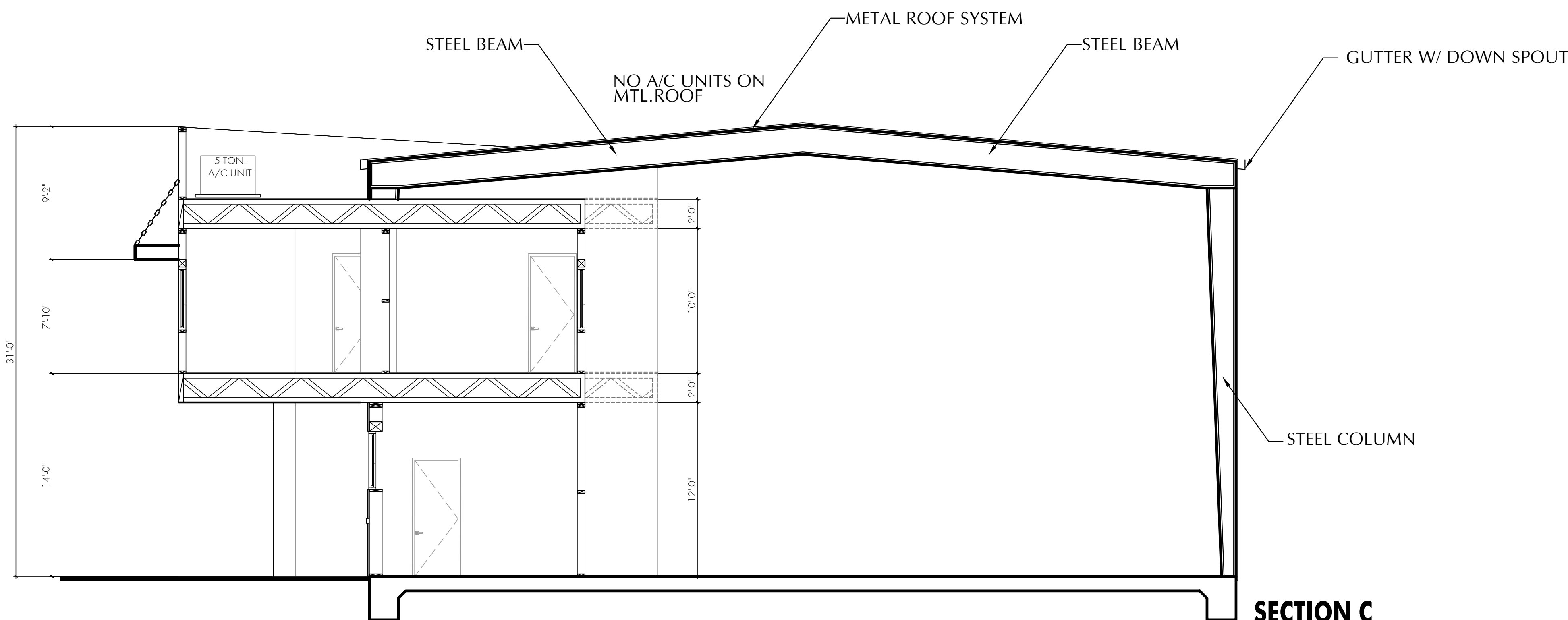
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**SECTION A**  
SCALE: 3/16" = 1'-0"



**SECTION B**  
SCALE: 3/16" = 1'-0"



**SECTION C**  
SCALE: 3/16" = 1'-0"



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19345 New Hall St.  
Palm Springs, CA. 92254

SHEET TITLE  
CROSS SECTIONS

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G.L.A.

DATE  
JANUARY 2024

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**P4.5**

JOB NO.

PSP-0101-2K24

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STUCCO SAND FINISH  
PAINTED WITH : ACCENT  
COLOR #3  
"TRICORN BLACK"  
"SW 6258"

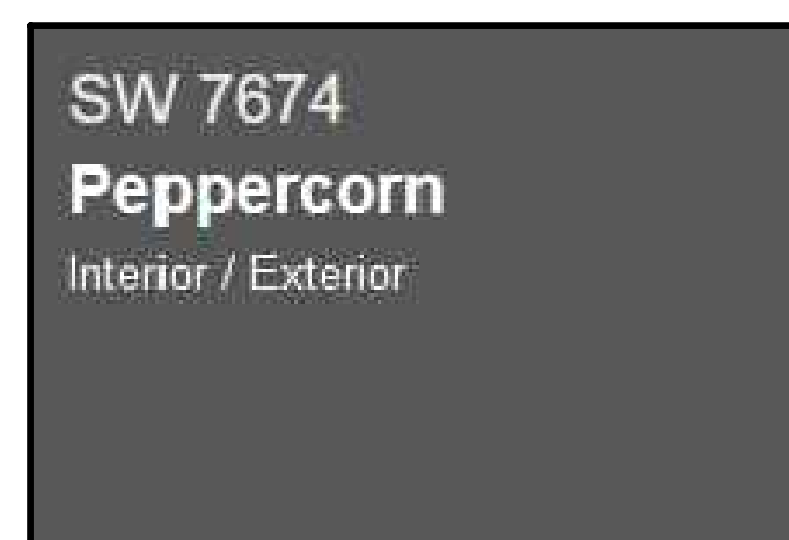


## PAINT - MATERIAL SAMPLE BOARD



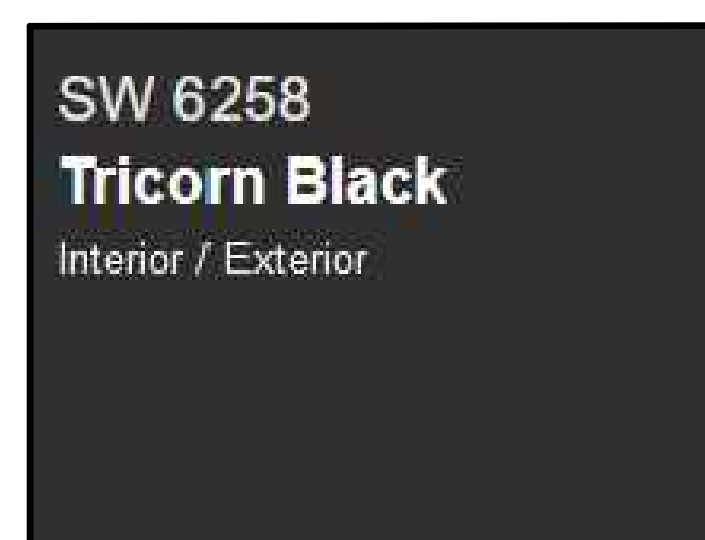
SW 7757  
**High Reflective White**  
Interior

STUCCO SAND FINISH  
PAINTED WITH : SW 7757  
"REFLECTIVE WHITE"  
MAIN COLOR



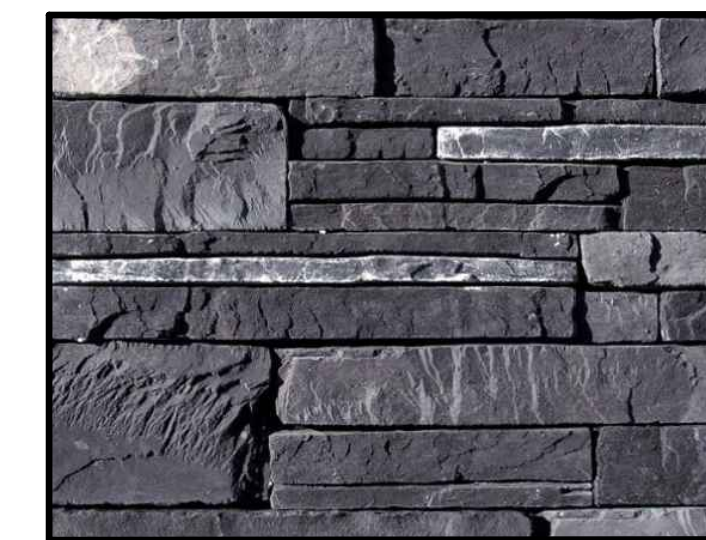
SW 7674  
**Peppercorn**  
Interior / Exterior

STUCCO SAND FINISH  
PAINTED WITH : SW 7674  
"PEPPERCORN"  
ACCENT COLOR #1



SW 6258  
**Tricorn Black**  
Interior / Exterior

METAL FEATURE PAINTED  
WITH ACCENT COLOR #2  
"TRICORN BLACK"  
"SW 6258"



STACK STONE  
CORONADO HONEY LEDGE  
"ROCKY MOUNTAIN RUNDLE"



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& ASSOCIATES**

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PRINCIPAL DESIGNER

75178 GERALD FORD DR., STE. B1  
PALM DESERT, CA. 92211  
CELL: (760) 573-0175 (760) 674-8100  
EMAIL: glujan@gladesigngroup.com

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An Industrial Building  
FOR:  
**Architectural  
Glazing**  
19345 New Hall St.  
Palm Springs, CA. 92254

SHEET TITLE

PRELIMINARY  
ELEVATIONS

DRAWN  
G.L.A.

CHECKED  
G.L.A.

DATE  
JANUARY 2024

SCALE  
AS NOTED

SHEET NUMBER

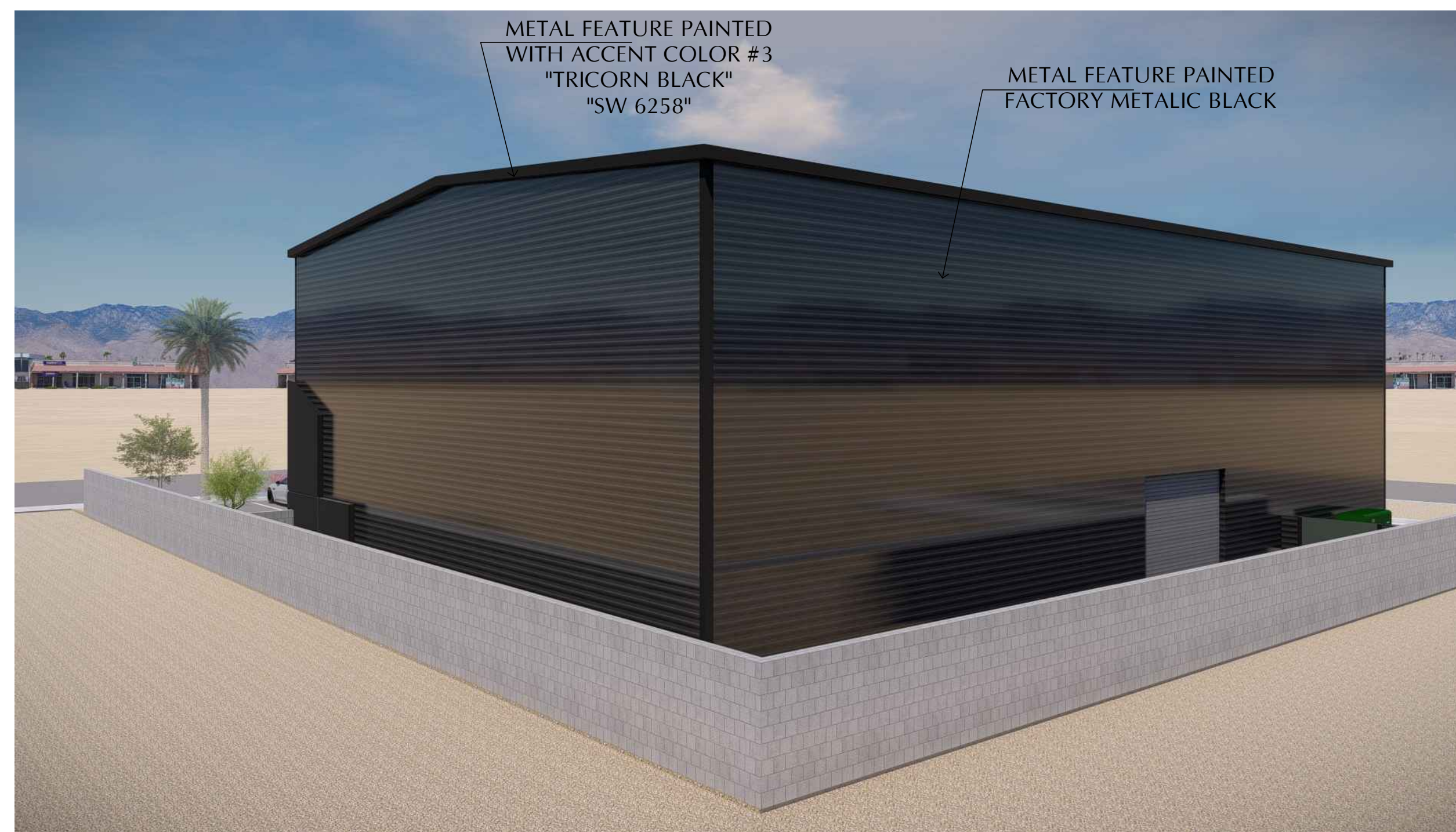
**P5**

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 PALM DESERT, CA. 92211  
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An Industrial Building  
 FOR:  
**Architectural  
 Glazing**  
 19345 New Hall St.  
 Palm Springs, CA. 92254

SHEET TITLE

PRELIMINARY  
 ELEVATIONS

DRAWN  
 G.L.A.

CHECKED  
 G.L.A.

DATE  
 JANUARY 2024

SCALE  
 AS NOTED

SHEET NUMBER

**P6**

JOB NO.

PSP-0101-2K24

# PLANTING LEGEND

## TREES

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
	2	PARKINSONIA PRAECOX WATER USE: LOW (0.2)	SONORAN PALO VERDE	36" BOX UPRIGHT MULTI-TRUNK EVERGREEN
	3	ACACIA ANEURA WATER USE: LOW (0.2)	MULGA	36" BOX STANDARD TRUNK EVERGREEN
	4	WASHINGTONIA FILIFERA WATER USE: LOW (0.5)	CALIFORNIA FAN PALM	12" FIT. STANDARD TRUNK EVERGREEN

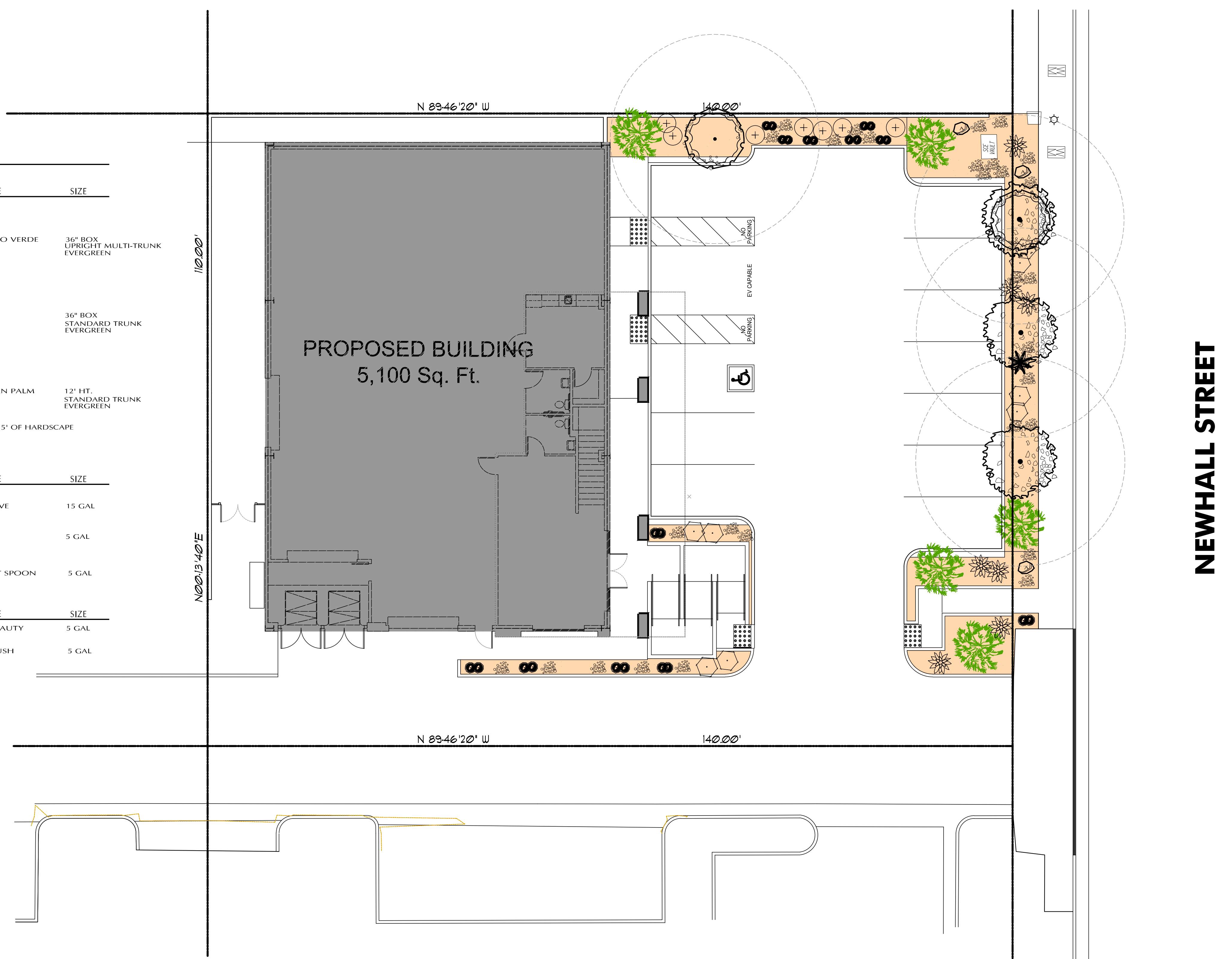
\*INSTALL ROOT BARRIERS, IF TREES/PALMS ARE WITHIN 5' OF HARDSCAPE

## SHRUBS AND ACCENTS

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
	2	AGAVE DESMETTIANA WATER USE: LOW (0.2)	SMOOTH AGAVE	15 GAL
	2	RUSSELIA EUISETIFORMIS WATER USE: MOD (0.5)	CORAL BELLS	5 GAL
	2	DASYLIRION ACROTRICHUM WATER USE: LOW (0.2)	GREEN DESERT SPOON	5 GAL

## GROUND COVER

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
	15	CARISSA 'BOXWOOD BEAUTY' WATER USE: MOD (0.5)	BOXWOOD BEAUTY	5 GAL
	4	EREMOPHILA G. 'MINGENEW GOLD' WATER USE: LOW (0.2)	GOLD EMU BUSH	5 GAL



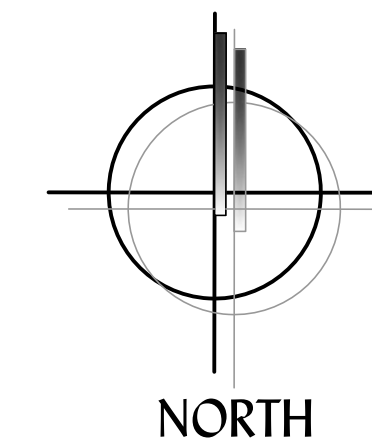
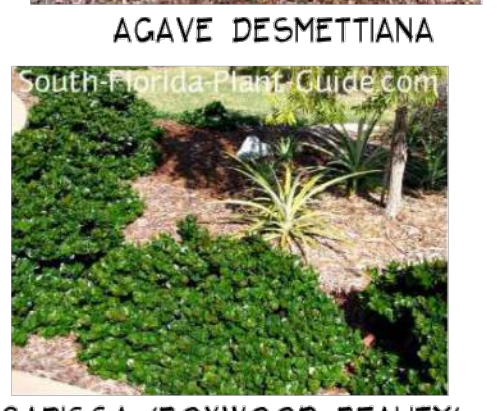
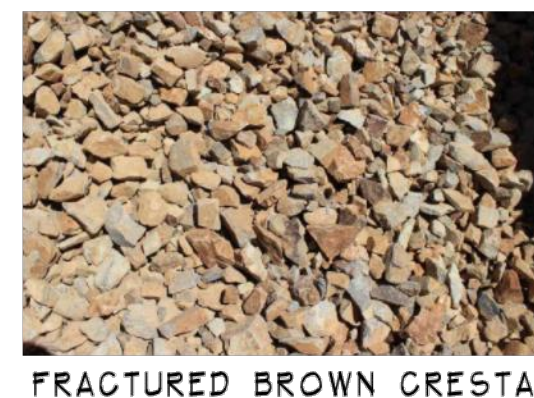
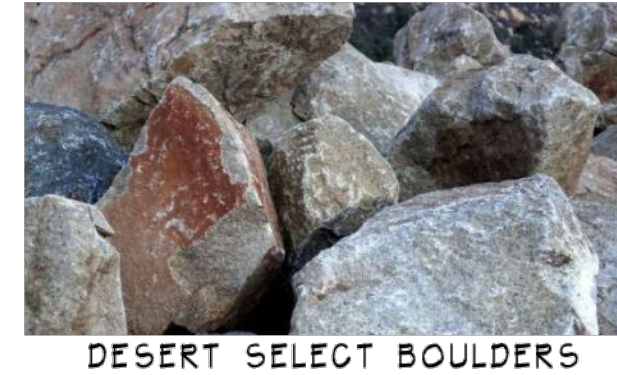
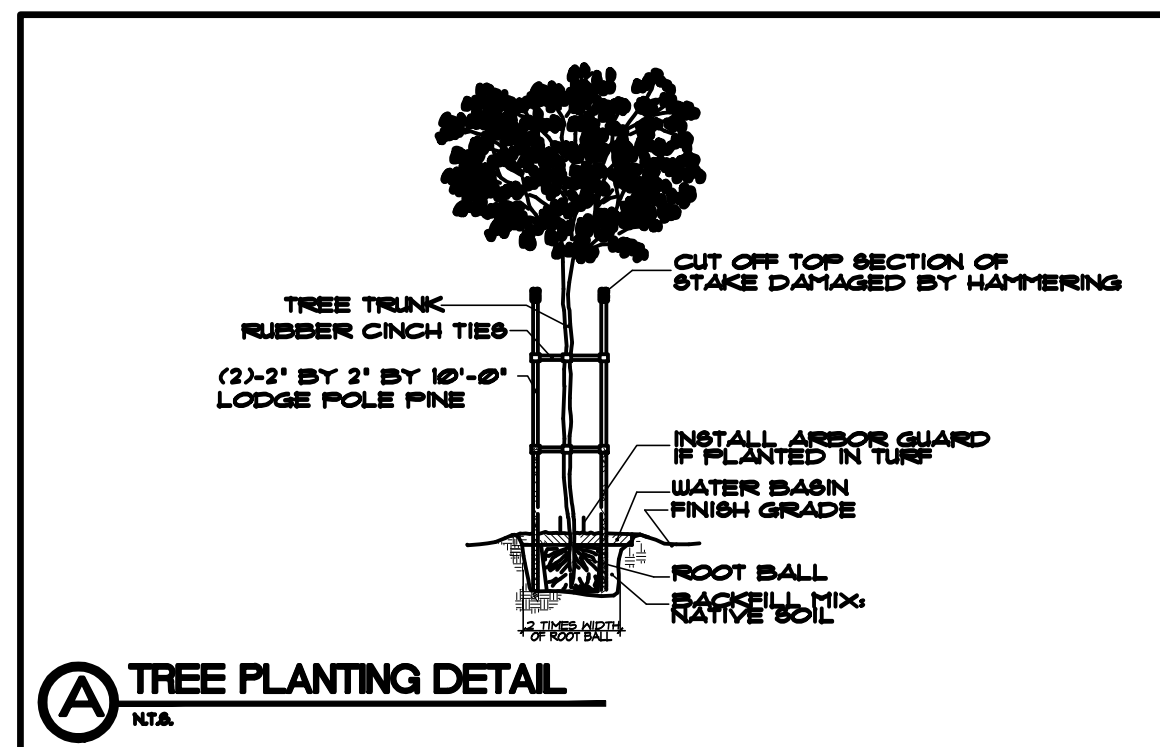
## ROCK MATERIAL

SYM.	NAME	SIZE
	3/4" CRUSHED ROCK	
	FRACTURED BROWN CRESTA	4"-6"
	3 DESERT SELECT BOULDERS BOULDERS ARE TO BE 1/3 BURIED	3'x2'x2'

NOTE: LANDSCAPING SHOULD BE CONSISTENT WITH THE REQUIREMENTS OF THE COACHELLA VALLEY WATER DISTRICT ORDINANCE 1302.1 AS ADOPTED BY THE CITY OF CATHEDRAL CITY UNDER ORDINANCE NO. 686 "WATER EFFICIENT LANDSCAPE ORDINANCE."

EVERGREEN/DECIDUOUS TREES
EVERGREEN: 5 (100%)
DECIDUOUS: 0 (0%)
TOTAL: 5 (100%)

PARKING SHADE ANALYSIS
TOTAL PARKING: 4064 SF
TOTAL TREE SHADE: 2080 SF
TOTAL PARKING SHADE COVERAGE: 51%



# PRELIMINARY LANDSCAPE

SCALE: 1/16" = 1'-0"



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PRINCIPAL DESIGNER

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PALM DESERT, CA. 92211  
CELL: (760) 573-0175 (760) 674-8100  
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An Industrial Building  
FOR:  
**Architectural Glazing**  
19345 New Hall St.  
Palm Springs, CA. 92254

SHEET TITLE

PRELIMINARY LANDSCAPE

DRAWN G.L.A.
CHECKED G.L.A.
DATE JANUARY 2024
SCALE AS NOTED

SHEET NUMBER <b>L1</b>
JOB NO. PSP-0101-2K24

Printed On: 10/01/24

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**WITH:**

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**& ASSOCIATES**

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An Industrial Building  
FOR:  
**Architectural  
Glazing**  
19345 New Hall St.  
Palm Springs, CA. 92254

SHEET TITLE

**PHOTOMETRIC  
SITE PLAN**

DRAWN  
G.L.A.

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G.L.A.

DATE  
JANUARY 2024

SCALE  
AS NOTED

SHEET NUMBER

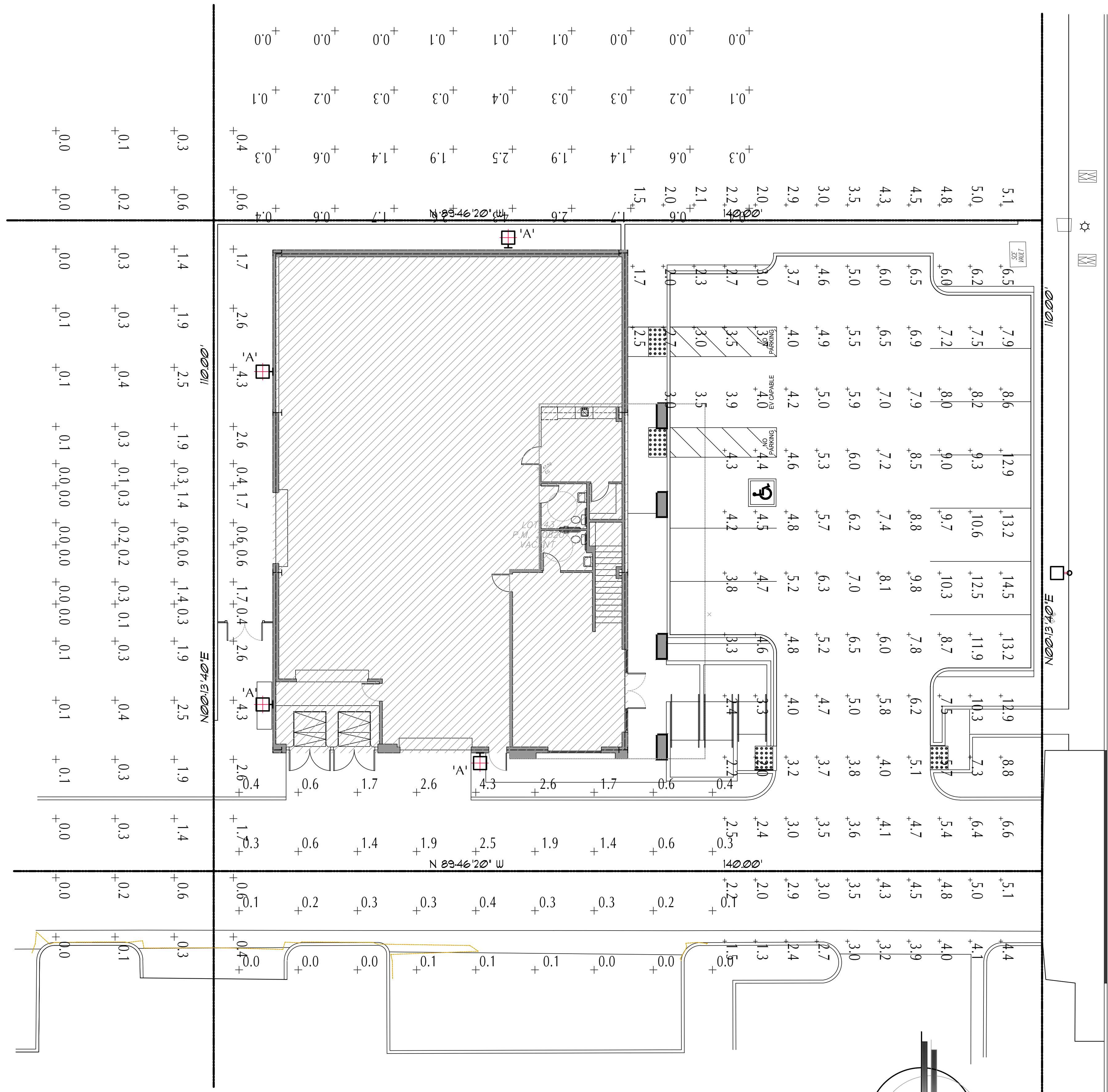
**PM1**

JOB NO.

PSP-0101-2K24

Printed On: 06/01/24

**NEWHALL STREET**



FIXTURE SCHEDULE		
TYPE	SPECIFICATIONS	WATTS
'A'	KIM LIGHT MODEL: WDS-D-24L-30-3K7-1	38
'B'	HUBBELL LIGHTING MODEL: RAR-1-80L-39-3K7-4W-BC	49

**NORTH**  
**PHOTOMETRIC  
SITE PLAN**  
SCALE: 1" = 10'-0"

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**KIMLIGHTING®**

**WDS**  
WALL MOUNTED

**FEATURES**

- 5° to +10° tilt adjustment
- High performance optics deliver up to 7500 lumens
- up or down mountable without modification
- Programmable occupancy sensor (dimming)
- NX and SiteSync wireless controls
- 130+ lumens per watt
- UL/cUL listed for wet locations, IP66 Listed



**CONTROL TECHNOLOGY**

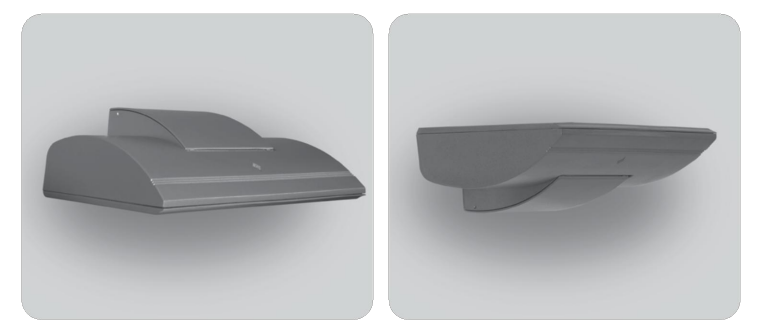


**SPECIFICATIONS**

- CONSTRUCTION**
- Optical housing is a one-piece, die-cast low copper (<0.6%) aluminum alloy with integral heat sink. The housing rotates against mounting arm housing to provide -5° to +10° of adjustment with degree markers label. At 0° adjustment, lens is totally concealed from view above horizontal with fixture mounted in the downward position.
  - Mounting arm housing is one-piece die-cast, low copper (<0.6%) aluminum alloy with provisions for tilt mechanism. Mounting arm fastens to the mounting plate with keyhole slots freeing both hands for securing and wiring. One stainless steel socket-head screw on the tilt mechanism frees the optical housing to rotate for aiming. Tightening the screws locks the housing and lens frame together with sealing provided by a silicone gasket. For visual aiming, adjustment may be accomplished with the fixture on.
  - Lens Frame is a one-piece, die-cast low copper (<0.6%) aluminum alloy with integral cooling fins to dissipate driver thermal.
  - Bracketry and hardware shall be stainless steel.
  - Finish: fade and abrasion resistant, electrostatically applied, thermally cured, triglycidyl isocyanurate (TGIC) polyester powdercoat
- OPTICS**
- LEDs mount to a metal printed circuit board assembly (MCPCB).
  - Optical lenses are clear injection molded PMMA acrylic.
  - Secondary lens is impact resistant 1/8" tempered glass with anti-reflective coating.
- INSTALLATION**
- Junction box (by others): Standard with steel, quick-mount junction box plate that mounts directly to 4" J-Box.
  - Mounting plate is stainless steel and features a one-piece EPDM gasket on back side of plate to firmly seal fixture to wall surface, forbidding entry of moisture and particulates.
  - Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.
- SERVICING**
- Housing should hang freely in an open service position for inspection of primary wire connections. Once in service position, the housing can be removed for service by sliding the assembly to the left (for down mounting) or to the right (for up mounting) and disconnecting the wiring plugs.
  - Driver assembly shall be mounted to a prewired internal tray with quick disconnects for removal.

DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_  
 TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_  
 CATALOG #: \_\_\_\_\_

**Wall Director**



Wall Director Small

**RELATED PRODUCTS**

Wall Director Medium

- ELECTRICAL**
- Universal voltage, 120 through 277V with a ±10% tolerance. Driver is Underwriters Laboratories listed.
  - High voltage configurations, 347/480. Driver has a 0-10V dimming interface for multi-level illumination options. Driver is Underwriters Laboratories listed.
  - "Thermal Shield", secondary side, thermistor provides protection for the sustainable life of LED module and electronic components
  - Drivers shall have greater than a 0.9 power factor, less than 20% harmonic distortion, and be suitable for operation in -40°C to 40°C ambient environments
  - Luminaire shall be capable of operating at 100% brightness in a 40°C environment. Both driver and optical array have integral thermal protection that will dim the luminaire upon detection of temperatures in excess of 85°C
  - Modular wiring harness in the service area provides user access to the dimming circuitry
  - Optional factory programmed dimming profile
  - Surge protection: 10,000k in parallel, 20,000k in series
  - Wiring: No. 18AWM rated 90°C, wet rating.
- (Specifications continued on page 3)

KEY DATA	
Lumen Range	2,855-8,567
Wattage Range	29-74
Efficacy Range (LPW)	89-129
Reported Life (Hours)	L70/60,000
Weight	20 lbs/9.07 kg

**FIXTURE TYPE 'A'**

PHOTOMETRY  
 BROCHURE  
 Delivered Lumens  
 Dimensional Drawings

**HUBBELL Outdoor Lighting**

**RATIO Series**  
AREA/SITE LIGHTER

**FEATURES**

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Compact and lightweight design with low EPA
- 3G rated for high vibration applications including bridges and overpasses
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7-Pin with networked controls
- Best in class surge protection available

DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_  
 TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_  
 CATALOG #: \_\_\_\_\_



**RELATED PRODUCTS**

Airo Cimarron LED Ratio Family



**CONTROL TECHNOLOGY**



**SPECIFICATIONS**

- CONSTRUCTION**
- Rectilinear form mimics the traditional shoebox form factor keeping a similar but updated style and appearance, ideal for retrofit applications
  - Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
  - Corrosion resistant, die-cast aluminum housing with powder coat paint finish
- OPTICS**
- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
  - 80, 160, 320 or 480 midpower LEDs
  - 3000K, 4000K or 5000K (70 CR) CCT
  - Zero uplight at 0 degrees of tilt
  - Field rotatable optics
- INSTALLATION**
- Standard square arm mount, compatible with B3 drill pattern
  - Optional universal mounting block for ease of installation during retrofit applications. Available as an option or accessory for square and round poles.
  - Knuckle arm fitter option available for 2-3/8" OD tenon. Max tilt of 60 degrees with 4 degree adjustable increments. (Restrictions apply for 7-pin options)
- ELECTRICAL**
- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- ELECTRICAL (CONTINUED)**
- Ambient operating temperature -40°C to 40°C
  - Drivers have greater than 90% power factor and less than 20% THD
  - LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
  - Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised
- CONTROLS**
- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
  - 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
  - 0-10 V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6" standard
  - SiteSync™ wireless control system is available via 7-pin See ordering information and details at: www.hubbellighting.com/sitesync
  - NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor
  - wiSCAPE® available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin

- CERTIFICATIONS**
- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at www.designlights.org
  - Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
  - 3G rated for ANSI C136.31 high vibration applications
  - Fixture is IP66 rated
  - Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
  - This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/23/2020. See Buy American Solutions
- WARRANTY**
- 5 year limited warranty
  - See HLI Standard Warranty for additional information

KEY DATA	
Lumen Range	3,000-48,000
Wattage Range	25-340
Efficacy Range (LPW)	118-155
Fixture Projected Life (Hours)	L70-60K
Weights lbs. (kg)	13.5-24 (6.1-10.9)

**FIXTURE TYPE 'B'**

PHOTOMETRY  
 BROCHURE  
 PART/REPAIR PAGE  
 INSTALLATION INSTRUCTIONS



**GLA DESIGN GROUP LLC.**  
A JOINT VENTURE  
WITH:  
**GABRIEL LUJAN & ASSOCIATES**

DRAFTING ● DESIGN ● LAND PLANNING

**GABRIEL LUJAN**  
PRINCIPAL DESIGNER

75178 GERALD FORD DR., STE. B1  
PALM DESERT, CA. 92211  
CELL: (760) 573-0175 (760) 674-8100  
EMAIL- glujan@gladesigngroup.com

CONSULTANTS LOGO:

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NO.	REVISIONS	DATE
1		
2		

An Industrial Building  
FOR:  
**Architectural  
Glazing**  
19345 New Hall St.  
Palm Springs, CA. 92254

SHEET TITLE  
**FIXTURE SPECIFICATIONS**

DRAWN G.L.A.	SHEET NUMBER
CHECKED G.L.A.	<b>PM2</b>
DATE JANUARY 2024	
SCALE AS NOTED	JOB NO. PSP-0101-2K24

FIXTURE SCHEDULE		
TYPE	SPECIFICATIONS	WATTS
'A'	KIM LIGHT MODEL: WDS-D-24L-30-3K7-1	38
'B'	HUBBELL LIGHTING MODEL: RAR-1-80L-39-3K7-4W-BC	49

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