



## Planning Commission Staff Report

Date: October 14, 2009

Case No.: 3.3369 - MAJ

Application Type: Major Architectural Approval

Location: Southeast corner of Vella Road & Mesquite Avenue

Applicant: The City of Palm Springs

Zone: "O" (Open Lands)

General Plan: Open Lands / Recreation Parks

APN: 680-020-010

From: Craig Ewing, AICP, Director of Planning Services

Project Planner: Edward O. Robertson, Principal Planner

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### PROJECT DESCRIPTION

The proposed project is by the City of Palm Springs to construct an approximately 19,210-square foot animal care facility on a 3-acre property at the southeast corner of Vella Road and Mesquite Avenue. The proposed indoor/outdoor animal care facility would accommodate animal control work areas, a public intake and adoption lobby, animal training room and courtyard, an adoption garden, an adoption counseling area and socialization area, as well as administrative and staff facilities.

The project also includes the determination that the not-to-exceed four acre site for the proposed animal shelter, which is a portion of a 20-acre parcel acquired by the City and land-banked for retention ponds and sewer treatment facilities, be utilized as an animal shelter and that the City sewer enterprise fund be appropriately compensated for the animal shelter use of the site.

## **RECOMMENDATION**

That the Planning Commission:

- Adopt the Mitigated Negative Declaration (MND) pursuant to Section 15072 of the California Environmental Quality Act (CEQA)
- Adopt by resolution that the proposed project is a government facility that is an appropriate use within the Open Lands zoning designation
- Approve the proposed project architecture for Case No. 3.3369-MAJ subject to the attached conditions of approval.

## **PRIOR ACTIONS**

On July 20, 2009, the Architectural Advisory Committee (AAC) considered the proposed project architectural and landscape designs; and by a vote of 6-0 recommended approval to the Planning Commission. In its review, the AAC offered the following comments and recommendations:

- Consider incorporating public art into the project
- Brise soleil should be brought up further for additional shading
- Consider keeping the raised planter walls as shown on the plans

These comments have been incorporated into the recommended conditions of approval for the project.

## **BACKGROUND AND SETTING**

The proposed animal care facility would be a City owned project; the location is on an approximately 3-acre site bounded on the north by Mesquite Avenue and on the west by Vella Road. There is an existing recycling center to the south; Demuth Park is located west of the site. Most of the portions of the site to the south and east are undeveloped. The subject property is zoned Open Lands, however, as a government facility, the Planning Commission could determine by resolution that the proposed use is appropriate at the location (See discussions below).

The facility is proposed as a one-story, approximately 19,210-square foot building; this size represents approximately 14.7% of the developable area. As stated earlier, the facility will occupy approximately three acres of the available developable site. The facility will consist of various components designed to cater for the requirements of an animal care facility. These include a lobby gallery, a public adoption entrance area, an adoption lobby, a holding area, dog wards, grooming area, general storage area, exercise rooms, socialization enclosure, classroom courtyard, administrative and staff facilities and a future crematory area.

Site



The project site is currently covered with dirt, scattered rocks, trees and low-growing vegetation. The two streets (Mesquite Avenue and Vella Road) fronting the property are fully improved with curbs, gutter and some landscaping.

## **ANALYSIS**

### **General Plan and Zoning**

The General Plan designation of the site is Open Space – Parks/Recreation. The zoning designation is “O” (Open Land). Pursuant to Section **92.21.01(A)(5)** of the Zoning Code, Governmental public facilities and functions, such as the proposed facility can be adopted by the Planning Commission as an acceptable use within this zoning designation. A separate draft resolution listing acceptable activities and functions is attached to this report.

According to Section **92.21.00** (open land zones) of the Zoning Code, “the “O” are intended to provide for areas of scenic beauty, areas reserved for parks, recreation, open space and government public uses, or in areas where a hazard to the public may exist”. The proposed animal care facility is a government facility and therefore is consistent with the requirement of the zoning code.

**Table 1:** Surrounding Land Uses and Zoning:

	<b>General Plan</b>	<b>Zone</b>	<b>Existing Land Uses</b>
North	Industrial	M-1 (Industrial)	Industrial Uses
South	Public Utilities	O (Open Lands)	Recycling Center
East	Industrial	M-1 (Industrial)	Southern California Edison
West	Recreation Parks	O (Open Lands)	Demuth Neighborhood Park

*Airport Land Use Compatibility:*

The proposed location for the animal care facility is within the B1 and C areas of the Riverside County Airport Land Use Compatibility Plan. The Airport Land Use Compatibility Plan establishes a maximum building height of fifty feet (50') in the vicinity of the proposed site. The maximum height of the proposed animal care facility is 23 feet and 6 inches; based on the established criteria, the project complies with the requirements of the Airport Land Use Compatibility Plan.

*Development Standards:*

The "O" zone establishes property development standards for all new development; the development standards are detailed in Table 2 below.

**Table 2:** Property Development Standards of the "O" Zone:

	"O" Zone	Proposed Project
Lot Area	No requirement	130,680 square feet
Lot Width	No requirement	Approximately 423 feet
Lot Depth	No requirement	309 feet
Front Yard	No requirement	Approximately 115 feet
Side Yard	No requirement	Approximately 42 feet
Rear Yard	No requirement	Approximately 58 feet
Building Height	24 feet	23.5 feet
Building Coverage	No requirement	14.7%

As proposed, the project meets all the requirements of the "O" zone and is consistent with the property development standards outlined therein.

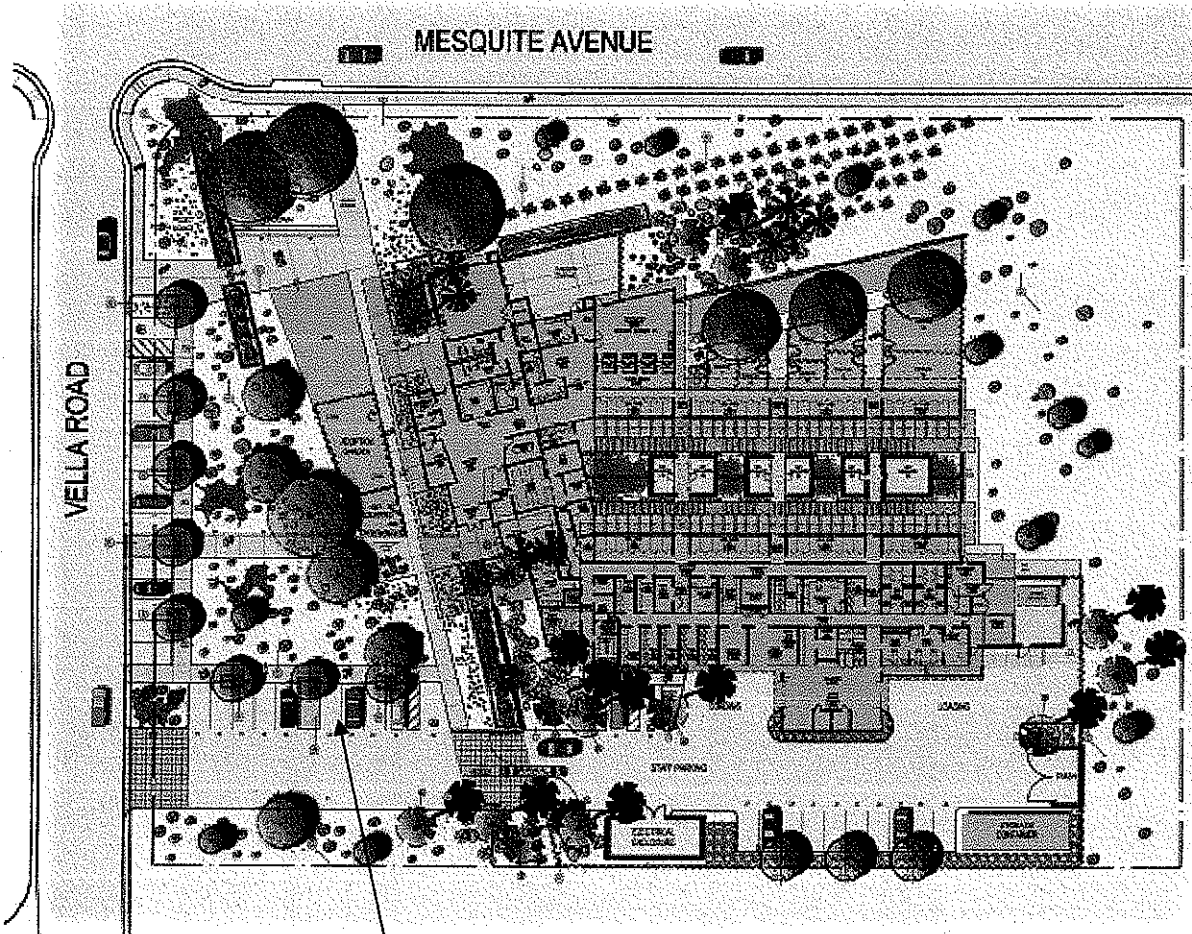
*Site Plan:*

The subject site is an undeveloped relatively flat 3-acre parcel. The 3-acre property is a portion of a 20-acre vacant land belonging to the City. The existing retention basin to the easterly portion of the property is not part of this project; some of the existing trees and shrubs will be retained to become part of the new landscaping for the facility.

The proposed site plan will consist of a one-story structure totaling approximately 19,210 square feet in size. Adoption and classroom courtyards are approximately 6,038 square feet in size. The main building is oriented towards Vella Road where the main driveway and sidewalk leading to the facility is situated.

The proposed building will accommodate animal control work areas, a public intake and adoption lobby, animal training rooms and courtyard, an adoption garden, an adoption counseling area, a grooming and socialization areas, as well as administrative and staff facilities. Partitioned exercise areas with green lawns are located northeasterly portion of the building. A large animal holding area is provided in the rear section of the building. Bay parking spaces are proposed along the east side of Vella Road; additional

off-street parking spaces are proposed along the westerly and southerly portions of the building. Loading areas for the project are proposed south of the facility.



Site Plan & Conceptual Landscape plan

*Architecture:*

The proposed architecture is a contemporary “desert modern” multi-colored style building incorporating shade devices, machine applied texture, vertical raked exterior cement plaster, vertical painted steel, bronze glass, and dark bronze frames, aluminum fascia, and horizontal aluminum louvers. The colors are warm earth tones with subtle accent colors that will feature up to six different color combinations and reflective glass panels.

*Noise Mitigations:*

The building incorporates various architectural elements designed to alleviate unpleasant noise and odors which may emanate from the facility. Raised planters with landscaping and solid walls will be used to further mitigate sound issues. The kennels are proposed to be constructed with sound proofing within the walls and sound softening and sound absorbing acoustical ceiling tiles. The design of the interior spaces

calls for the use of water resistant drywall with epoxy paint; the glass in dog rooms are proposed to be half-inch thick, double glazed, heat-strengthened and laminated, this design will significantly help in reducing noise levels within the facility. The exterior building walls housing the dog kennels and the exterior courtyards of the kennels are proposed to be constructed with steel reinforced glazed concrete masonry blocks.

Also, other dense building materials, such as acoustic windows (double-glazed, thick, non-operable, with air tight seals and fresh air supply systems), full-height insulated sound walls, solid core doors, interior doors with drop-down bottoms at the sill and neoprene seals, and acoustic ceiling tiles designed to reduce internal room-to-room noise transmission as well as interior-to-exterior noise transmission will be used for the construction of the building. The proposed socialization rooms, the dog wards, the dog holding and isolation rooms, the cat holding rooms, and other staff support areas will have acoustical ceiling tiles designed to reduce interior noise levels. Finally, the animal training classrooms and the office areas will have high-performance acoustical ceiling tiles to enhance spatial functionality. According to the facility designers, these features will "reduce interior noise levels associated with barking dogs and result in a less stressful environment where background music can be used as white noise to calm those dogs that tend to react to isolated sounds by barking."

#### *Landscaping:*

The conceptual landscape design is a typical desert type landscape that is able to survive the harsh climate conditions of the desert. Proposed trees include Mulga, Palo Verde, Smoke Tree, Sago palm, California and Mexican fan palm trees. In addition to the trees, there are shrubs and grasses, accents, groundcovers, boulders and cobble stone. Overall the proposed landscaping is consistent with the desired desert tolerant plant selection. Finally, the project is proposing approximately 70.5% of the property to be designated as open space. Some of the existing larger native rocks will be stock piled on site to be used later on as cobble stones. Also, as stated earlier some of the existing native trees on the site will be retained to become part of the new landscape planting.

#### *Parking /Access:*

There are no established ratios for parking outlined in Section 93.06.00 of the Zoning Code regarding animal care facility uses. However, pursuant to Section **93.06.00(B) (9)** Off-street Parking requirements (*Uses Not Specified*), states...*"Where the parking requirement for a use is not specifically defined herein, the parking requirement for such use shall be determined by the planning commission in the manner set forth in Section 94.01.00; and such determination shall be based upon the requirement for the most comparable use specified herein"*. Staff has determined that the most comparable use to the animal shelter is Manufacturing and Industrial Uses which requires that the use provide... *"One (1) space for each five hundred (500) square feet of gross floor area"*. Based on the above-mentioned requirements, a total of 38 spaces will be required; there are 38 parking spaces designated for the project. The main point of vehicular

access to the facility is through Vella Road. Pedestrian access to the facility is provided from the two frontage streets Mesquite Avenue and also Vella Road.

### **COMMUNITY MEETINGS**

On March 6, 2008, prior to the submittal of formal project application, a community meeting organized by the City's representatives including the animal care facility design team was held. The meeting was designed primarily to introduce the project, seek public inputs, and respond to questions and concerns from the community of the Demuth Park Neighborhood. The meeting was attended by nine (9) citizens from the immediate surrounding neighborhood and provided an overview of the City's plan to build the facility at the southeast corner of Vella Road and Mesquite Avenue. Some citizens expressed their concerns and displeasures at the proposed location, while others agreed that the site was an appropriate one for the shelter. A number of the concerns expressed by the citizens include potential traffic congestion, odors, noise, dust during construction, stray cats and dogs and the location of the facility.

On September 8, 2009, a second community meeting was held at City Hall. Over 100 notices were mailed out to owners of properties around the proposed project site. There were twenty-nine (29) citizens in attendance; the City Manager, the City's representative and the project architect were also in attendance to provide a status report of the animal care facility and to respond to questions from the citizens. At the meeting, the project architect provided details of the mitigation measures already incorporated into the project design which are meant to address the concerns of the community from the first meeting. (See attachment 6 for the excerpts from the meeting of September 8, 2009)

### **REQUIRED FINDINGS**

There are no required findings for applications for major architectural approval; however, as a development project that requires mitigation measures, findings are required pursuant to the California Environmental Quality Act (CEQA). The environmental Initial Study concluded that with the incorporation of proposed mitigation measures, potentially significant environmental impacts resulting from this project will be reduced to a level of insignificance and that a Mitigated Negative Declaration can be adopted for the project. The draft resolution of approval includes such a finding.

Criteria for Architectural Approval are analyzed as follows:

*1. Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking lot areas;*

Access throughout the proposed project is designed according to the requirements of the Uniform Building Code and ADA rules, including accessible pathways, handicapped parking spaces and vehicular access. The building is oriented towards Vella Road to minimize any potential danger along the more traveled Mesquite Avenue.

*2. Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood/community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted;*

The proposed building is harmonious with the site; the proposed design is contemporary architecture that uses desert tone colors and materials. The design of the facility is similar to the desired architectural style that the City of Palm Springs is famous for; the landscape design and plant materials are appropriate, not only for the location but also for the harsh desert environment. The scale of the new construction will not overwhelm the existing development in the surrounding neighborhood; therefore it will be harmonious with the immediate vicinity.

*3. Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens, towers or signs) and effective concealment of all mechanical equipment;*

The proposed maximum height of the building is less than twenty-four feet, the mass of the building and setbacks are in excess of the requirements of the Palm Springs Zoning Code. Parking is adequate, the proposed landscape provides adequate screening and shading, and all mechanical equipment will be concealed from all public right-of-ways.

*4. Building design, materials and colors to be sympathetic with desert surroundings; AND 5. Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures, which are visible simultaneously; AND 6. Consistency of composition and treatment;*

The building design includes a variety of embellishments, including shade devices, machine applied textures, vertical raked exterior cement plaster, vertical painted steel, bronze glass, and dark bronze frames, aluminum fascia, and horizontal aluminum louvers. These materials are designed to create harmony, similar to building materials in the surrounding area. The proposed color schemes are typical of the desert and surrounding mountains.

*7. Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials;*

The proposed landscape design is a typical desert type landscape that is able to survive the harsh desert climate conditions. Proposed trees include Mulga, Palo Verde, Smoke Tree, Sago palm, California and Mexican fan palm trees. In addition to the trees, there are shrubs and grasses, accents, groundcovers, boulders and cobble stone. The proposed plants are drought tolerant, and where required, emitters will deliver water to each individual plant.



## ENVIRONMENTAL ASSESSMENT

Pursuant to Section 15063 of the California Environmental Quality Act (CEQA) Guidelines, an Environmental Initial Study was prepared and a Notice of Intent to adopt a Mitigated Negative Declaration was sent to applicable agencies, interested parties and published on September 5, 2009 in the Desert Sun for a 20-day review period. The Mitigated Negative Declaration was also distributed to the Planning Commissioners at the same time they were published.

Mindful of the concerns and the questions that have been raised by some residents to the northwest of the project location, staff requested for three different technical studies to complete the environmental evaluation of the project. The studies which were prepared by the Endo Engineering are the following: an air quality impact study, a noise impact study and a focused traffic study.

The Air Quality Impact Study dated August 2009, focused on the discovery of any air quality impacts that would be associated with the project. The study made several determinations, recommendations and conclusions that were relied upon by staff to include conditions of approval and mitigation measures to be incorporated into the proposed animal care facility. The air quality impact study concluded that the "*inclusion of all feasible mitigation measures in the project will minimize, to the greatest extent feasible, potential air quality impacts attributable to the proposed project*". All the recommended mitigation measures have been added to draft conditions of approval.

The Noise Impact Study dated August 3, 2009, specifically considered noise generated from current noise levels in and around the project site and also future noise levels in the site upon completion of the animal care facility. The study determined that noise generated by the proposed project will be consistent with the policies and guidelines included in the Noise Element of the *Palm Springs 2007 General Plan* as well as the performance standards set forth in the Noise Ordinance of the *Palm Springs Municipal Code*. Most importantly, the orientation of the building (toward Vella Road instead of Mesquite Avenue) and the careful placement of large concrete planters and noise barriers will minimize intrusive noise levels and shield entrances, outdoor courtyards and activity areas.

Overall, the proposed project will not result in a substantial permanent increase in ambient noise levels above the existing noise levels in the vicinity. As recommended, specific mitigation measures have been included into the architectural and engineering design of the facility. Additional operational mitigation measures were recommended; they have been included in the draft conditions of approval.

A Focused Traffic Study dated July 2009, was prepared by Endo Engineering to determine any potential traffic impacts that would be associated with the project. Specifically, the focused traffic analysis evaluated whether or not traffic signals or other improvements would be needed in the future at the key intersections of Vella Road and Mesquite Avenue which is located adjacent to the project site.

According to the Focused Traffic Study, the addition of the project would yield peak hour levels of service (LOS) of B in the morning and LOS C in the evening at the intersection of Vella Road and Mesquite Avenue. These levels of service are based on peak season, with the existing intersection approach lane configuration and all-way stop control. The City of Palm Springs General Plan indicates that an acceptable level of service is D. Therefore, the proposed project related impacts would be less than significant.

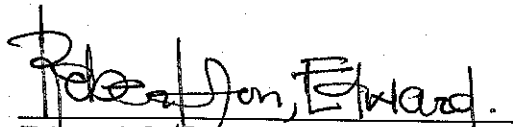
The summaries of the above reports are also contained in the environmental initial study previously distributed to the Commission. Finally, the outcome of the Environmental Initial Study conducted for this project, along with the above-referenced studies determined that the proposed new development will not have a significant impact on the environment with the incorporation of mitigation measures; a Mitigated Negative Declaration is recommended.

### **CONCLUSION**

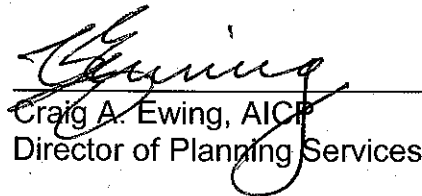
The project is consistent with the land use and development standards of the "O" zone and has received a recommendation of approval from the Architectural Advisory Committee. Staff is recommending approval of the Open Land zone resolution of acceptable uses and of Case No. 3.3369 – MAJ subject to the attached conditions of approval.

### **NOTIFICATION**

A public hearing notice for this meeting was advertised and was mailed to all property owners within 400 square feet radius of the subject property/adjacent property owners. As of the writing of this report, only one comment has been received.



Edward O. Robertson  
Principal Planner



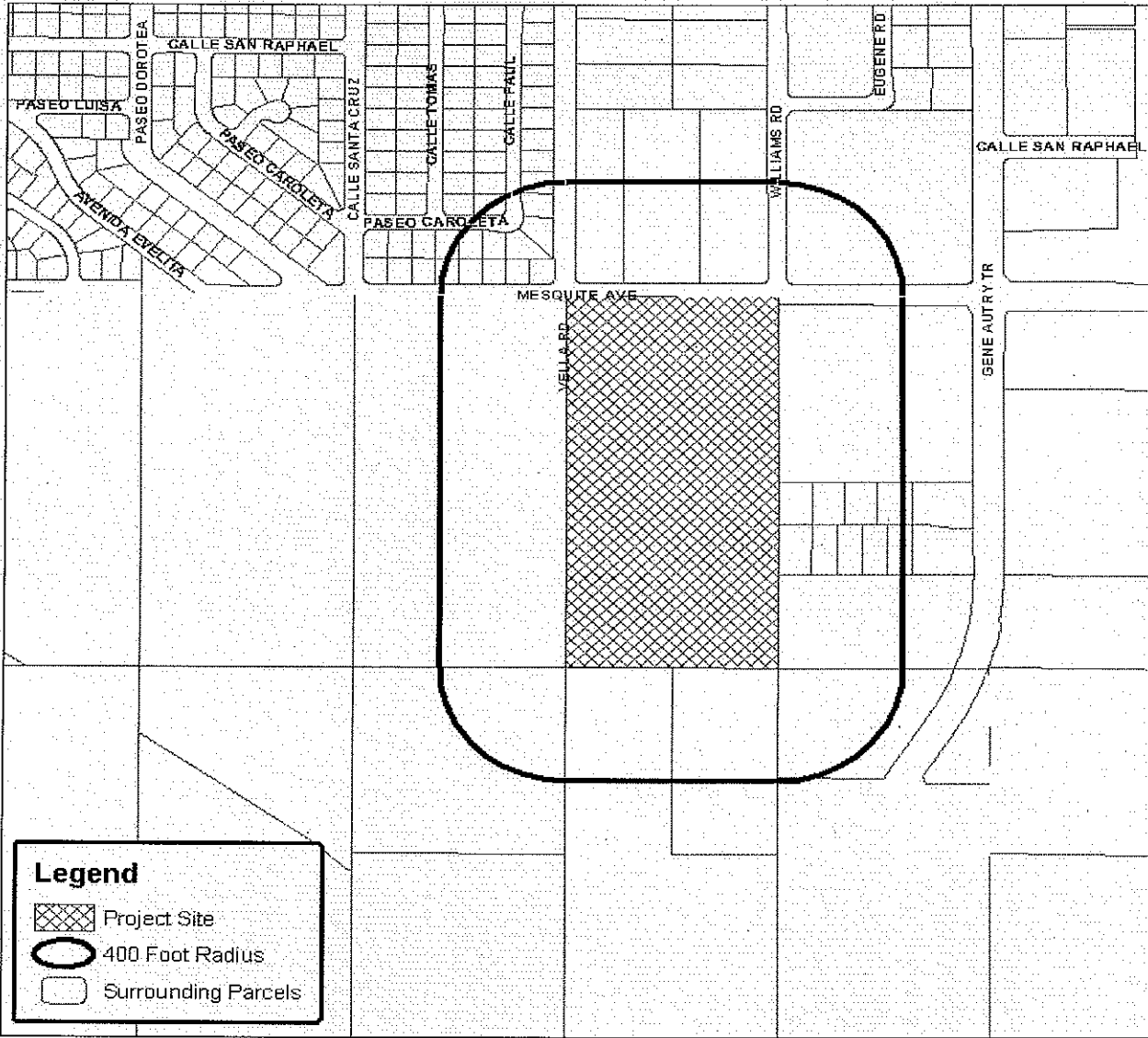
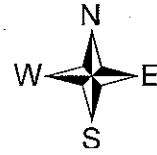
Craig A. Ewing, AICP  
Director of Planning Services

### **ATTACHMENTS**


1. Vicinity Map
2. Draft Resolution of Acceptable Uses in the Open Land zone
3. Draft Resolution
4. Conditions of Approval
5. Reduced Site Plan and Elevations
6. Initial Study & Mitigation Measures
7. Notes from Community/Neighborhood Meetings
8. Letter from a concerned resident



# Department of Planning Services Vicinity Map



**Legend**

-  Project Site
-  400 Foot Radius
-  Surrounding Parcels

## CITY OF PALM SPRINGS

**CASE NO:** 3.3369 MAJ

**APPLICANT:** City of Palm Springs

**DESCRIPTION:** To consider an application by the City of Palm Springs for Major Architectural approval to construct a 19,210-square foot animal care facility on a 3-acre property at the southeast corner of Vella Road and Mesquite Avenue, Zone M1, Section 19/T4/R5, GP:P/U.

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM SPRINGS, CALIFORNIA, DETERMINING THAT THE PROPOSED CITY OF PALM SPRINGS ANIMAL CARE FACILITY, IS A GOVERNMENT PUBLIC FACILITY THAT IS AN APPROPRIATE LAND USE WITHIN THE "O" OPEN LANDS ZONE AT THE SOUTHEAST CORNER OF VELLA ROAD AND MESQUITE AVENUE.

WHEREAS, The City of Palm Springs ("Applicant") has filed an application with the City pursuant to Section 94.01.00 of the Palm Springs Zoning Code (PSZC) for a determination that the City of Palm Springs Animal Care Facility is a government facility that is an appropriate use in the Open Lands ("O") Zone located at the southeast corner of Vella Road and Mesquite Avenue; and

WHEREAS, on October 14, 2009, a public meeting on the application was held by the Planning Commission in accordance with applicable law; and

WHEREAS, notice of public hearing of the Planning Commission of the City of Palm Springs to consider Case No. 3.3369-MAJ was given in accordance with applicable law; and

WHEREAS, the Planning Commission has reviewed the project under the provisions of the California Environmental Quality Act (CEQA), and determined that the project had the potential for significant impacts, but that the impacts would not be significant in this case because project modifications and mitigation measures incorporated into the Draft Mitigated Negative Declaration (DMND), will reduce impacts to less than significant levels.

WHEREAS, a new list of acceptable activities and functions in government public facilities will be established as part of this resolution for the Open Lands designation, and

WHEREAS, the Planning Commission has carefully reviewed and considered all of the evidence presented in connection with the hearing on the project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE PLANNING COMMISSION HEREBY ADOPTS THE FOLLOWING:

Section 1: Pursuant to the requirements of Section 92.21.01(A)(5) of the Zoning Code, the Planning Commission hereby adopts this resolution in support of the Palm Springs Animal Care Facility and the following list as acceptable activities and functions within the Open Lands designation:

1. Animal Care Facility
2. Animal Control
3. Animal Grooming
4. Animal Adoption and Training
5. Animal Clinic
6. Veterinary Office
7. Animal Crematory
8. Dog Park

NOW, THEREFORE, BE IT RESOLVED that, based upon the foregoing, the Planning Commission hereby adopts the City of Palm Springs Animal Care Facility as an appropriate land use in the Open Lands "O" at the southeast corner of Vella Road and Mesquite Avenue.

ADOPTED this 14<sup>th</sup> day of October, 2009.

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

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Craig A. Ewing, AICP  
Director of Planning Services

## RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM SPRINGS, CALIFORNIA, ADOPTING A MITIGATED NEGATIVE DECLARATION AND APPROVING CASE NUMBER 3.3369-MAJ FOR THE CONSTRUCTION OF A ONE STORY BUILDING TO HOUSE THE CITY OF PALM SPRINGS ANIMAL CARE FACILITY, AND ASSOCIATED LANDSCAPING, AND PARKING, AT THE SOUTHEAST CORNER OF VELLA ROAD AND MESQUITE AVENUE, ZONE OPEN LANDS, SECTION 19.

WHEREAS, The City of Palm Springs, California, "Applicant", has an filed application with the City pursuant to Section 9.62 of the Municipal Code, and Sections 94.04.00 of the Zoning Ordinance, for a Major Architectural Application (Case No. 3.3369-MAI), to allow the construction of a one story building to house the City's animal care facility, parking and landscaping; and

WHEREAS, on July 20, 2009, the Architectural Advisory Committee (AAC) reviewed the proposed project and voted 6-0 to recommend approval to the Planning Commission; and

WHEREAS, notice of public hearing of the Planning Commission of the City of Palm Springs to consider Case No. 3.3369-MAJ was given in accordance with applicable law; and

WHEREAS, on October 14, 2009, a meeting was held by the Planning Commission in accordance with applicable law; and

WHEREAS, the Planning Commission has carefully reviewed and considered all of the evidence presented in connection with the hearing on the project, including but not limited to the staff report, all written and oral testimony presented.

### THE PLANNING COMMISSION HEREBY FINDS AS FOLLOWS:

Section 1: The Planning Commission has reviewed this project under the provisions of the California Environmental Quality Act (CEQA), and determined that the project had the potential for significant impacts, but that the impacts would not be significant in this case because project modifications and mitigation measures incorporated into the Draft Mitigated Negative Declaration (DMND), will reduce impacts to less than significant levels.

Section 2: Pursuant to Section 94.04.00 of the Zoning Ordinance, the Planning Commission finds:

*1. Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking lot areas;*

Access throughout the proposed project is designed according to the requirements of the Uniform Building Code and ADA rules, including accessible pathways, handicapped parking spaces and vehicular access. The building is oriented towards Vella Road to minimize any potential danger along the more traveled Mesquite Avenue.

*2. Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood/community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted;*

The proposed building is harmonious with the site; the proposed design is contemporary architecture that uses desert tone colors and materials. The design of the facility is similar to the desired architectural style that the City of Palm Springs is famous for; the landscape design and plant materials are appropriate, not only for the location for the harsh desert environment. The scale of the new construction will not overwhelm the existing development in the surrounding neighborhood; therefore it will be harmonious with the immediate vicinity.

*3. Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens, towers or signs) and effective concealment of all mechanical equipment;*

The proposed maximum height of the building is less than twenty-four feet, the mass of the building and setbacks are in excess of the requirements of the Palm Springs Zoning Code. Parking is adequate, the proposed landscape provides adequate screening and shading, and all mechanical equipment will be concealed from all public right-of-ways.

*4. Building design, materials and colors to be sympathetic with desert surroundings; AND 5. Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures, which are visible simultaneously; AND 6. Consistency of composition and treatment;*

The building design include a variety of embellishments, including shade devices, machine applied textures, vertical raked exterior cement plaster, vertical painted steel, bronze glass, and dark bronze frames, aluminum fascia, and horizontal aluminum louvers. These materials are designed to create harmony, similar to building materials in the surrounding area. The proposed color scheme is typical of the desert and surrounding mountains around the location.

*7. Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials;*

The proposed landscape design is a typical desert type landscape that is able to survive the harsh desert climate conditions. Proposed trees include Mulga, Palo Verde, Smoke Tree, Sago palm, California and Mexican fan palm trees. In addition to the trees, there are shrubs and grasses, accents, groundcovers, boulders and cobble stone. The proposed plants are drought tolerant, and where required, emitters will deliver water to each individual plant.

NOW, THEREFORE, BE IT RESOLVED that, based upon the foregoing, the Planning Commission hereby adopts the Mitigated Negative Declaration and approves Major Architectural Application Case No. 3.3369 – MAJ for the construction of the City of Palm Springs Animal Care Facility subject to those conditions set forth in Exhibit A, which are to be satisfied unless otherwise specified.

ADOPTED this 14<sup>th</sup> day of October, 2009.

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

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Craig A. Ewing, AICP  
Director of Planning Services



## EXHIBIT A

Case No. 3.3369 – MAJ

### THE CITY OF PALM SPRINGS ANIMAL CARE FACILITY SOUTHEAST CORNER OF VELLA ROAD & MESQUITE AVENUE

October 14, 2009

#### CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

#### ADMINISTRATIVE CONDITIONS

- ADM1 Project Description. This approval is for the project described per Case No. 3.3369-MAJ; except as modified with the approved Mitigation Monitoring Program and the conditions below;
- ADM2 Reference Documents. The site shall be developed and maintained in accordance with the approved plans, including site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Planning Department except as modified by the approved conditions below.
- ADM3 Conform to all codes and regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Code, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM4 Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM5 Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case No. 3.3369-MAJ.

The City of Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

ADM6 Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.

ADM7 Time Limit on Approval. Approval of the Major Architectural Application shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.

Extensions of time may be approved pursuant to Code Section 9.63.110. Such extension shall be required in writing and received prior to the expiration of the original approval.

ADM8 Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. Permits will not be issued until the appeal period has concluded.

ADM9 Public Art Fees. This project shall be subject to Chapters 2.24 and 3.37 of the Municipal Code regarding public art. The project shall either provide public art or payment of an in lieu fee. In the case of the in-lieu fee, the fee shall be based upon the total building permit valuation as calculated pursuant to the valuation table in the Uniform Building Code, the fee being 1/2% for commercial projects or 1/4% for residential projects with first \$100,000 of total building permit valuation for

individual single-family units exempt. Should the public art be located on the project site, said location shall be reviewed and approved by the Director of Planning and Zoning and the Public Arts Commission, and the property owner shall enter into a recorded agreement to maintain the art work and protect the public rights of access and viewing.

## **ENVIRONMENTAL ASSESSMENT CONDITIONS**

**ENV1** The mitigation measures of the environmental assessment shall apply. The applicant shall submit a signed agreement that the mitigation measures outlined as part of the mitigated negative declaration will be included in the Planning Commission consideration of the environmental assessment. The Mitigation Measures are as follows:

**MM III-1** The City's Fugitive Dust Control Ordinance (Chapter 8.5 of the Municipal Code) requires a Dust Control plan which shall be submitted to the City Engineer for approval and which shall include but not be limited to the following:

- A. Adequate watering techniques shall be employed to partially mitigate the impact of construction generated dust particulates. Portions of the project site that are undergoing earth moving operations shall be watered such that a crust will be formed on the ground surface and then watered again at the end of the day.
- B. The wheels and the lower portions of transport trucks shall be sprayed with water before they leave the construction area.
- C. Any vegetative ground cover to be utilized on-site shall be planted as soon as possible to reduce the amount of open space subject to wind erosion. Irrigation systems needed to water these plants shall be installed as soon as possible to maintain the ground cover and minimize blowsand.
- D. Grading activity shall be suspended when local winds exceed 25 miles per hour and during the first and second smog alerts.
- E. Construction access roads shall be paved as soon as possible and cleaned after each workday.
- F. All trucks hauling dirt, sand, soil, or other loose dirt material shall be covered or have 2 feet of freeboard.
- G. A short-term stabilization plan shall be included in the plan for after hours and weekends. The applicant shall forward the plan to the Southern California Air Quality Management District (SCAQMD) after approval.

**MM III-2** The project proponent shall notify the City and SCAQMD 24 hours prior to the initiation of earth moving activities.

**MM III-3** The City shall notify the SCAQMD within 10 days of the completion of earth moving activities.

- MM III-4** Construction signage in conformance with City standards shall be posted on Vella Road and Mesquite Avenue regarding the reporting of blowing dust on the site.
- MM III-5** Earth moving operations shall include a water application system while earth moving is active.
- MM III-6** Construction equipment shall be properly maintained and serviced to minimize exhaust emissions.
- MM-III-7** Construction access roads shall be paved as soon as possible and cleared after each workday.
- MM-III-8** Paving activities and use of equipment for construction of buildings shall not be used concurrently.
- MM III-9** All exposed surfaces shall be watered twice daily;
- MM III-10** Speeds on all unpaved surfaces shall be reduced to less than 15 mph
- MM III-11** Low VOC architectural coatings shall be used on the interior and exterior of the animal shelter.
- MM III-12** The project shall provide secure bicycle racks and a shower to encourage cycling to/from the facility and reduce vehicle miles traveled by private automobile and associated air pollutant emissions.
- MM III-13** The design and construction specifications shall promote energy efficiency which exceeds Title 24 of the Uniform Building Code and the use of sustainable building practices on-site such as Leadership in Energy and Environmental Design (LEED)
- MM III-14** The project will be required to implement blowsand reduction measures.
- MM V-1** A(n) Approved Cultural Resource Monitor(s) as indicated by the Agua Caliente Tribal Historic Preservation Office shall be present during any survey and/or ground disturbing activities.
- MM V-2** Should cultural resources be encountered during site construction in any portion of the site, work shall immediately cease and a qualified archaeologist shall be contacted to evaluate the significance of the materials. Any significant findings shall be documented and presented to the State Historic Preservation Office (SHPO), Bureau of Indian Affairs (BIA), the Agua Caliente Band of Cahuilla Indians and the City, and shall be resolved to their satisfaction.
- MM V-3** Copies of any cultural resources documentation generated in connection with this project shall be given to the Agua Caliente Band of Cahuilla Indians for inclusion into the Agua Caliente Cultural Register.

- MM XI-1** A construction traffic routing plan shall be developed and submitted for approval that demonstrates, to the extent feasible, avoidance of routes with adjacent noise sensitive receptors (i.e., route construction traffic to/from the east along Mesquite Avenue, east of Vella Road).
- MM XI-2** The contractor shall comply with all local sound control and noise level rules, regulations and ordinances which apply to any and all work performed pursuant to the contract.
- MM XI-3** Each internal combustion engine, used for any purpose on the job or related to the job, shall be equipped with a muffler of a type recommended by the manufacturer. No internal combustion engine shall be operated on the project site without said muffler.
- MM XI-4** Construction activities shall incorporate feasible and practical techniques which minimize noise impacts on adjacent uses.
- MM XI-5** All construction equipment, fixed or mobile, shall be equipped with properly operating and maintained mufflers.
- MM XI-6** Stationary equipment shall be placed such that emitted noise is directed away from noise sensitive receptors.
- MM XI-7** Stockpiling and vehicle staging areas should be located as far as practical from noise sensitive receptors.
- MM XI-8** Every effort should be made to create the greatest distance between noise sources and sensitive receptors during construction activities.
- MM XI-9** The noisiest construction operations shall be arranged to occur together in the construction program to avoid continuing periods of greater annoyance.
- MM XI-10** All construction equipment shall be in proper working order and maintained in a proper state of tune to reduce backfires.
- MM XI-11** Parking, refueling and servicing operations for all heavy equipment and on-site construction vehicles shall be located as far as practical from existing homes.
- MM XI-12** Construction activities shall be limited to between 7:00 a.m. and 8:00 p.m., as specified by the Palm Springs Noise Ordinance Chapter 11.74.041 to reduce noise impacts during sensitive time periods.
- ENV2** Coachella Valley Multiple-Species Habitat Conservation Plan (CVMSHCP) Local Development Permit Fee (LDMF) required. All projects within the City of Palm Springs are subject to payment of the CVMSHCP LDMF prior to the issuance of certificate of occupancy.
- ENV3** Notice of Exemption. The project is exempt from the California Environmental Quality Act (CEQA); therefore, an administrative fee of \$64 shall be submitted by the applicant in the form of a money order or

a cashier's check payable to the Riverside County Clerk within two business days of the Commission's final action on the project. This fee shall be submitted by the City to the County Clerk with the Notice of Exemption. Action on this application shall not be considered final until such fee is paid (projects that are Categorically Exempt from CEQA).

ENV4 California Fish & Game Fees Required. The project is required to pay a fish and game impact fee as defined in Section 711.4 of the California Fish and Game Code. This CFG impact fee plus an administrative fee for filing the action with the County Recorder shall be submitted by the applicant to the City in the form of a money order or a cashier's check payable to the Riverside County Clerk prior to the final City action on the project (either Planning Commission or City Council determination). This fee shall be submitted by the City to the County Clerk with the Notice of Determination. Action on this application shall not be final until such fee is paid. The project may be eligible for exemption or refund of this fee by the California Department of Fish & Game. Applicants may apply for a refund by the CFG at [www.dfg.ca.gov](http://www.dfg.ca.gov) for more information.

ENV5 Cultural Resource Survey Required. Prior to any ground disturbing activity, including clearing and grubbing, installation of utilities, and/or any construction related excavation, an Archaeologist qualified according to the Secretary of the Interior's Standards and Guidelines, shall be employed to survey the area for the presence of cultural resources identifiable on the ground surface.

ENV6 Cultural Resource Site Monitoring. There is a possibility of buried cultural or Native American tribal resources on the site. A Native American Monitor shall be present during all ground-disturbing activities. (check for duplication in engineering conditions)

a). A Native American Monitor(s) shall be present during all ground disturbing activities including clearing and grubbing, excavation, burial of utilities, planting of rooted plants, etc. Contact the Agua Caliente Band of Cahuilla Indian Cultural Office for additional information on the use and availability of Cultural Resource Monitors. Should buried cultural deposits be encountered, the Monitor shall contact the Director of Planning. After consultation the Director shall have the authority to halt destructive construction and shall notify a Qualified Archaeologist to further investigate the site. If necessary, the Qualified Archaeologist shall prepare a treatment plan for submission to the State Historic Preservation Officer and Agua Caliente Cultural Resource Coordinator for approval.

b). Two copies of any cultural resource documentation generated in connection with this project, including reports of investigations, record search results and site records/updates shall be forwarded to the Tribal

Planning, Building, and Engineering Department and one copy to the City Planning Department prior to final inspection.

## **PLANNING DEPARTMENT CONDITIONS**

- PLN 1. Outdoor Lighting Conformance. Exterior lighting plans, including a photometric site plan showing the project's conformance with Section 93.21.00 Outdoor Lighting Standards of the Palm Springs Zoning ordinance, shall be submitted for approval by the Department of Planning prior to issuance of a building permit. Manufacturer's cut sheets of all exterior lighting on the building and in the landscaping shall be included. If lights are proposed to be mounted on buildings, down-lights shall be utilized. No lighting of hillsides is permitted.
- PLN 2. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Refer to Chapter 8.60 of the Municipal Code for specific requirements.
- PLN 3. Flat Roof Requirements. Roof materials on flat roofs must conform to California Title 24 thermal standards for "Cool Roofs". Such roofs must have a minimum initial thermal emittance of 0.75 and minimum initial solar reflectance of 0.70. Only matte (non-specular) roofing is allowed in colors such as off-white, beige or tan. Bright white should be avoided where possible."
- PLN 4. Screen Roof-mounted Equipment. All roof mounted mechanical equipment shall be screened per the requirements of Section 93.03.00 of the Zoning Ordinance.
- PLN 5. Surface Mounted Downspouts Prohibited. No exterior downspouts shall be permitted on any facade on the proposed building(s) that are visible from adjacent streets or residential and commercial areas.
- PLN 6. Exterior Alarms & Audio Systems. No sirens, outside paging or any type of signalization will be permitted, except approved alarm systems.
- PLN 7. Outside Storage Prohibited. No outside storage of any kind shall be permitted except as approved as a part of the proposed plan.
- PLN 8. No off-site Parking. Vehicles associated with the operation of the proposed development including company vehicles or employees vehicles shall not be permitted to park off the proposed building site unless a parking management plan has been approved.

- PLN 9. Roof Mechanical Access. Provide permanent securable means of access to service and maintain the roof top mechanical units (example; lockable roof access ladders) as approved by the Director of Planning.
- PLN 10. Conditions from the AAC. The raised planter walls shall remain on the elevations as submitted; the brise soleil shall be moved up further to provide additional shading.

### **POLICE DEPARTMENT CONDITIONS**

- POL 1. Developer shall comply with Section II of Chapter 8.04 "Building Security Codes" of the Palm Springs Municipal Code.

### **ACCESSIBILITY CONDITIONS**

- ADA 1. Project shall conform to all codes and regulations relating to accessibility in all aspects of the development.

### **BUILDING DEPARTMENT CONDITIONS**

- BLD 1. Prior to any construction on-site, all appropriate permits must be secured.

### **FIRE DEPARTMENT CONDITIONS**

- FID 1. These conditions are subject to final plan check and review. Initial fire department conditions have been determined on the site plan dated 6/15/09. Additional requirements may be required at that time based on revisions to site plans.
- FID 2. Fire Department Conditions were based on the 2007 California Fire Code. Four complete sets of plans for private fire service mains, fire alarm, or fire sprinkler systems must be submitted at time of the building plan submittal.
- FID 3. **Access During Construction (CFC 503):** Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13'6". Fire Department access roads shall have an all weather driving surface and support a minimum weight of 73,000 lbs.
- FID 4. **Fire Department Access (CFC 503.2.1):** Fire apparatus access shall have an unobstructed width of not less than 24 feet and an unobstructed vertical clearance of not less than 13'6". Fire Department access roads shall have an all weather driving surface and support a minimum weight of 73,000 lbs. No parking shall be allowed in either side of the roadway.



- FID 5. **Fire Lane Marking (CFC 503.3):** Approved signs or red painted curbs shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. Signs or notices shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility.
- FID 6. **Turning radius (CFC 503.2.4):** Fire access road turns and corners shall be designed with a minimum inner radius of 25 feet and an outer radius of 43 feet. Radius must be concentric.
- FID 7. **Buildings and Facilities (CFC 503.1.1):** Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
- FID 8. **Premises Identification (CFC 505.1):** New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Address numbers shall be Arabic numerals or alphabet letters. Numbers shall be a minimum of 4" high with a minimum stroke width of 0.5".
- FID 9. **Location of Knox boxes:** A Knox box shall be installed at every locked gate. Boxes shall be mounted adjacent to said gates, on walls or fences, at five (5) feet above grade, or as close to this height as possible if the adjacent wall is less than five feet. Show location of boxes on plan and elevation views. Show requirement in plan notes.
- FID 10. **Dead Ends (CFC 503.2.5):** Dead-end fire apparatus roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus. The City of Palm Springs has two approved turn around provisions. One is a cul-de-sac with an outside turning radius of 43 feet from centerline. The other is a hammerhead turnaround meeting the Palm Springs Public Works and Engineering Department standard dated 9-4-02.
- FID 11. **Security Gates (CFC 503.6):** The installation of security gates across a fire apparatus access road shall be approved by the fire chief. Where security gates are installed, they shall have an approved means of emergency operation. The security gates and the emergency operation shall be maintained at all times. Secured automated vehicle gates or entries shall utilize approved Knox access switches as required by the fire code official. Secured non-automated vehicle gates or entries shall utilize an approved padlock or chain (maximum link or lock shackle

size of ¼ inch) when required by the fire code official. Approved security gates shall be a minimum of 14 feet in unobstructed drive width on each side with gate in open position.

- FID 12. **Key Box Required to be Installed (CFC 506.1):** Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be of an approved type and shall contain keys to gain necessary access as required by the fire code official. The nominal height of Knox lock box installations shall be 5 feet above grade. Location and installation of Knox key boxes must be approved by the fire code official.
- FID 13. **Key Box Contents (CFC 506.1):** The Knox key box shall contain keys to all areas of ingress/egress, alarm rooms, fire sprinkler riser/equipment rooms, mechanical rooms, elevator rooms, elevator controls, plus a card containing the emergency contact people and phone numbers for the building/complex.
- FID 14. **Operational Fire Hydrant(s) (CFC 508.1, 508.5.1 & 1412.1):** Operational fire hydrant(s) shall be installed within 250 feet of all combustible construction. They shall be installed and made serviceable prior to and during construction. No landscape planting, walls, or fencing is permitted within 3 feet of fire hydrants, except ground cover plantings.
- FID 15. **Fire Flow (CFC 508.3):** Fire flow requirements for buildings or portions of buildings and facilities are estimated to be 1500 GPM with the installation of fire sprinklers based on Appendix B of the 2007 CFC.
- FID 16. **NFPA 13 Fire Sprinkler System is Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA 13, 2002 Edition, except the seismic bracing and restraints shall comply with NFPA 13, 2007 Edition using  $C_p$  of 0.74 and  $l/r$  Ratio of 200. No portion of the fire sprinkler system shall be installed prior to plan approval. Prior to final approval of the installation, contractor shall submit a completed Contractors Material and Test Certificate for Aboveground Piping to the Fire Department. (16.1 NFPA 13, 2002 Edition and 10.10 NFPA 24, 2002 Edition)
- FID 17. **Valve and Water-Flow Monitoring (CFC 903.4):** All valves controlling the fire sprinkler system water supply, and all water-flow switches, shall be electrically monitored. All control valves shall be locked in the open position. Valve and water-flow alarm and trouble signals shall be distinctly different and shall be automatically transmitted to an approved central station.

- FID 18. **Central Station Protective Signaling Service (CFC 903.4.1):** A UL listed and certified Protective Signaling Service (Central Station Service) is required. Provide the Fire Department with proof of listing and current certificate. The Fire Department shall be notified immediately of change in service.
- FID 19. **Audible Residential Water Flow Alarms (CFC 903.4.2):** An approved audible sprinkler flow alarm (Wheelock horn/strobe # MT4-115-WH-VFR with WBB back box or equal) shall be provided on the exterior of the building in an approved location. The horn/strobe shall be outdoor rated.
- FID 20. **Fire Hydrant & FDC Location (CFC 912.2):** A public commercial fire hydrant is required within 30 feet of the Fire Department Connection (FDC). Fire Hose must be protected from vehicular traffic and shall not cross roadways, streets, railroad tracks or driveways or areas subject to flooding or hazardous material or liquid releases.
- FID 21. **Fire Department Connections (CFC 912.2.1 & 912.3):** Fire Department connections shall be visible and accessible, have two 2.5 inch NST female inlets, and have an approved check valve located as close to the FDC as possible. All FDC's shall have KNOX locking protective caps. Contact the fire prevention secretary at 760-323-8186 for a KNOX application form.
- FID 22. **Fire Alarm System:** Fire alarm system is required and installation shall comply with the requirements of NFPA 72, 2002 Edition.
- FID 23. **Portable Fire Extinguisher (CFC 906.1):** Portable fire extinguishers shall be installed. Provide one 2-A:10-B:C portable fire extinguisher for every 75 feet of floor or grade travel distance for normal hazards. Portable fire extinguishers shall not be obstructed or obscured from view. Portable fire extinguishers shall be installed so that the top is not more than 5 feet above the floor.

## ENGINEERING DEPARTMENT CONDITIONS

The Engineering Division recommends that if this application is approved, such approval is subject to the following conditions being completed in compliance with City standards and ordinances.

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer.

### MESQUITE AVENUE

- ENG 1. Construct a minimum 5 feet wide sidewalk in accordance with City of Palm Springs Standard Drawing No. 210.

ENG 2. All broken or off grade street improvements shall be repaired or replaced.

#### VELLA ROAD

ENG 3. Remove the existing curb and gutter, and construct new street improvements for the proposed bay parking and driveway approach in accordance with applicable City standards.

ENG 4. Construct a minimum 5 feet wide sidewalk in accordance with City of Palm Springs Standard Drawing No. 210.

ENG 5. All broken or off grade street improvements shall be repaired or replaced.

#### ON-SITE

ENG 6. The minimum pavement section for all on-site pavement shall be 2½ inches asphalt concrete pavement over 4 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal. If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval.

ENG 7. The property on which the facility is proposed to be constructed was acquired with Wastewater Treatment Plant Funds for exclusive use by the City of Palm Springs Wastewater Treatment Plant. Prior to issuance of a certificate of occupancy, a land lease or other equivalent document approved by the City Attorney shall be executed by the City.

#### SANITARY SEWER

ENG 8. The existing sewer trunk line in Vella Road is overloaded and unavailable for a sewer lateral connection for the site. The facility shall be connected to the City's sewer system located in Mesquite Avenue.

#### GRADING

ENG 9. Submit a Precise Grading and Paving Plan prepared by a California registered Civil engineer to the Engineering Division for review and approval. The Precise Grading and Paving Plan shall be approved by the City Engineer prior to issuance of grading permit.

- a) A Fugitive Dust Control Plan shall be prepared and submitted to the Engineering Division for review and approval. The grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more

“Coachella Valley Best Available Control Measures” as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The grading contractor shall provide the Engineering Division with current and valid Certificate(s) of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related “PM10” Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Division prior to approval of the Precise Grading and Paving Plan.

- b) The first submittal of the Precise Grading and Paving Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of Soils Report; a copy of the associated Hydrology Study/Report; and a copy of the associated Water Quality Management Plan.

- ENG 10. Prior to approval of a Grading Plan, written approval to proceed with construction shall be obtained from the Agua Caliente Band of Cahuilla Indians, Tribal Historic Preservation Officer or Tribal Archaeologist. The grading contractor shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at (760) 699-6800, to determine their requirements, if any, associated with grading or other construction. The grading contractor is advised to contact the Tribal Historic Preservation Officer or Tribal Archaeologist as early as possible. If required, it is the responsibility of the grading contractor to coordinate scheduling of Tribal monitors during grading or other construction, and to arrange payment of any required fees associated with Tribal monitoring.
- ENG 11. In accordance with an approved PM-10 Dust Control Plan, perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Perimeter fencing shall be installed after issuance of Grading Permit, and immediately prior to commencement of grading operations.
- ENG 12. Perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.

- ENG 13. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ENG 14. Drainage swales shall be provided adjacent to all curbs and sidewalks to keep nuisance water from entering the public streets, roadways, or gutters.
- ENG 15. This project receives coverage from the California General Construction Stormwater Permit (Water Quality Order 99-08-DWQ as modified December 2, 2002) by the Regional Water Quality Control Board's issuance of Waste Discharge Requirements for Discharges from The Municipal Separate Storm Sewer System (MS4), Board Order R7-2008-0001. In accordance with the Order, a Notice of Intent (NOI) form shall be submitted to the Regional Board prior to start of construction, and a Storm Water Pollution Prevention Plan (SWPPP) shall be developed and implemented in compliance with the appropriate General Construction Permit. The SWPPP shall be retained on-site during the entire construction period. A Notice of Termination (NOT) shall be submitted to the Regional Board within 30 days of the completion of all construction. The NOI and NOT Forms are available from the Public Works Department.
- ENG 16. This project requires preparation and implementation of a stormwater pollution prevention plan (SWPPP). Where applicable, the approved final project-specific WQMP shall be incorporated by reference or attached to the SWPPP as the Post-Construction Management Plan. A copy of the up-to-date SWPPP shall be kept at the project site and be available for review upon request.
- ENG 17. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Division with the first submittal of a grading plan.
- ENG 18. Provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved grading plan shall be certified by a California registered geotechnical or civil engineer, certifying that all grading was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be provided. No certificate of occupancy will be issued until the required certification is provided to the City Engineer.

- ENG 19. In cooperation with the Riverside County Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, grading permits involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (RIFA Form CA-1) prior to approval of the Grading Plan (if required). The California Department of Food and Agriculture office is located at 73-710 Fred Waring Drive, Palm Desert (Phone: 760-776-8208).

#### WATER QUALITY MANAGEMENT PLAN

- ENG 20. A project-specific Water Quality Management Plan (WQMP) shall be submitted to and approved by the City Engineer prior to issuance of a grading or building permit. The WQMP shall address the implementation of operational Best Management Practices (BMP's) necessary to accommodate nuisance water and storm water runoff from the site. Direct release of nuisance water to Mesquite Avenue or Vella Road is prohibited. Construction of operational BMP's shall be incorporated into the Precise Grading and Paving Plan.

#### DRAINAGE

- ENG 21. Stormwater runoff from the site, equivalent to the developed 10-year storm water runoff volume, may be conveyed directly to the Riverside County Flood Control and Water Conservation District (RCFC) Storm Drain Line 22 located along the east side of Vella Road. Operational Best Management Practices (BMP's) shall be incorporated within the on-site storm drain system to effectively pre-treat runoff prior to release downstream into the off-site storm drain system. An encroachment permit from RCFC shall be obtained for any modification of and connection to Storm Drain Line 22.

#### GENERAL

- ENG 22. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115.
- ENG 23. All proposed utility lines shall be installed underground.
- ENG 24. In accordance with Chapter 8.04.401 of the City of Palm Springs Municipal Code the existing overhead utilities adjacent to Mesquite Avenue meet the requirement to be installed underground.

- ENG 25. All existing utilities shall be shown on the improvement plans required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.
- ENG 26. Upon approval of any improvement plan by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD 2004 drawing file), DXF (AutoCAD ASCII drawing exchange file), and PDF (Adobe Acrobat 6.0 or greater) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval of the City Engineer.
- ENG 27. The original improvement plans prepared for the proposed development and approved by the City Engineer (if required) shall be documented with record drawing "as-built" information and returned to the Engineering Division prior to issuance of a final certificate of occupancy. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.
- ENG 28. Nothing shall be constructed or planted in the corner cut-off area of any (intersection or) driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.
- ENG 29. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers installed in accordance with City of Palm Springs Standard Drawing No. 904.
- ENG 30. This property is subject to the Coachella Valley Multiple Species Habitat Conservation Plan Local Development Mitigation fee (CVMSHCP-LDMF). The LDMF shall be paid prior to issuance of Building Permit.

#### TRAFFIC

- ENG 31. A minimum of 48 inches of clearance for handicap accessibility shall be provided on public sidewalks or pedestrian paths of travel within the development.
- ENG 32. All damaged, destroyed, or modified pavement legends, traffic control devices, signing, striping, and street lights, associated with the proposed development shall be replaced as required by the City Engineer prior to issuance of a Certificate of Occupancy.
- ENG 33. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic



Control" of the California Manual on Uniform Traffic Control Devices for Streets and Highways, dated September 26, 2006, or subsequent editions in force at the time of construction.

- ENG 34. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

### **FIRE DEPARTMENT CONDITIONS**

- FID 24. These conditions are subject to final plan check and review. Initial fire department conditions have been determined on the site plan dated 3/17/09. The submitted plans do not provide enough detail. Additional requirements may be required at that time based on revisions to site plans.
- FID 25. Fire Department Conditions were based on the 2007 California Fire Code. Four complete sets of plans for private fire service mains, fire alarm, or fire sprinkler systems must be submitted at time of the building plan submittal.
- FID 26. **Public Safety CFD:** The Project will bring a significant number of additional residents to the community. The City's existing public safety and recreation services, including police protection, criminal justice, fire protection and suppression, ambulance, paramedic, and other safety services and recreation, library, cultural services are near capacity. Accordingly, the City may determine to form a Community Services District under the authority of Government Code Section 53311 et seq, or other appropriate statutory or municipal authority. Developer agrees to support the formation of such assessment district and shall waive any right to protest, provided that the amount of such assessment shall be established through appropriate study and shall not exceed \$500 annually with a consumer price index escalator. The district shall be formed prior to sale of any lots or a covenant agreement shall be recorded against each parcel, permitting incorporation of the parcel in the district.
- FID 27. **Access During Construction (CFC 503):** Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13'6". Fire Department access roads shall have an all weather driving surface and support a minimum weight of 73,000 lbs.
- FID 28. **Fire Department Access:** Fire Department Access Roads shall be provided and maintained in accordance with (Sections 503 CFC)

### **Minimum Access Road Dimensions:**

1. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, a greater width for private streets may be required by the City engineer to address traffic engineering, parking, and other issues. The Palm Springs Fire Department requirements for two-way private streets, is a **minimum width of 24 feet** is required for this project, unless otherwise allowed by the City engineer. No parking shall be allowed in either side of the roadway. **The private driveway from Simms Road to San Rafael Road is designated as a fire lane.**
- FID 29. **Fire Lane Marking (CFC 503.3):** Approved signs or other approved notices shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. Signs or notices shall be maintained in a clean and legible condition at all times and is replaced or repaired when necessary to provide adequate visibility.
- FID 30. **Reduced Roadway Width:** Areas with reduced roadway width at entry and exit gates, entry and exit approach roads, traffic calming areas that are under 36 feet wide require red painted curb to maintain minimum 24 foot clear width. Red curb shall be stenciled "NO PARKING" and "FIRE LANE" with white paint.
- FID 31. **Fire Apparatus Access Gates (8.04.260 PSMC):** Entrance gates shall have a clear width of at least 15 feet and be equipped with a frangible chain and padlock during construction.
- FID 32. **Buildings and Facilities (CFC 503.1.1):** Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
- FID 33. **Dimensions (CFC 503.2.1):** Fire apparatus access roads shall have an unobstructed width of not less than 24 feet except for approved security gates in accordance with Section 503.6 and an unobstructed vertical clearance of not less than 13 feet 6 inches.
- FID 34. **Surface (CFC 503.2.3):** Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus (73,000 lbs. GVW) and shall be surfaced so as to provide all-weather driving capabilities.
- FID 35. **Turning radius (CFC 503.2.4):** The required turning radius of a fire apparatus access road shall be determined by the fire code official.

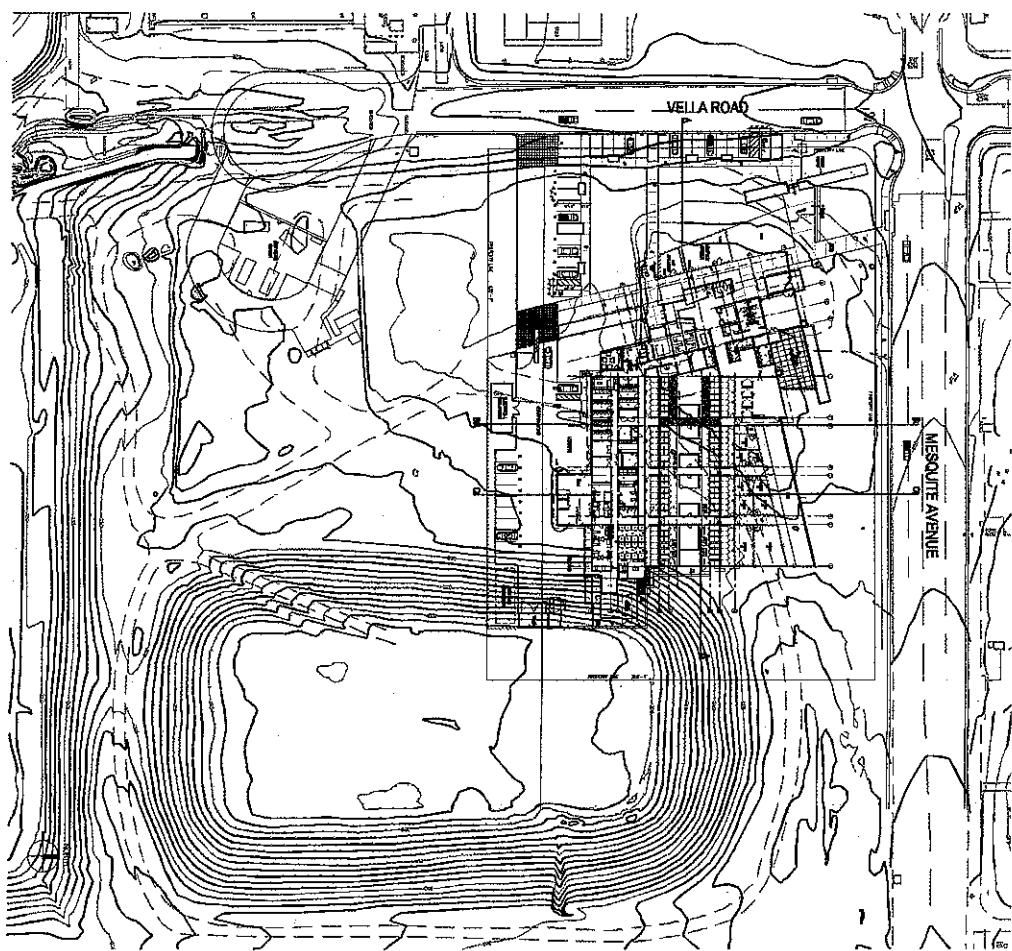
Fire access road turns and corners shall be designed with a minimum inner radius of 25 feet and an outer radius of 43 feet. Radius must be concentric.

- FID 36. **Premises Identification (CFC 505.1):** New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Address numbers shall be Arabic numerals or alphabet letters. Numbers shall be a minimum of 4" high with a minimum stroke width of 0.5".
- FID 37. **Key Box Required to be Installed (CFC 506.1):** Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location.
- FID 38. **Location of Knox boxes:** A Knox box shall be installed at every locked gate. Boxes shall be mounted at 5 feet above grade. Show location of boxes on plan elevation views. Show requirement in plan notes.
- FID 39. **Operational Fire Hydrant(s) (CFC 508.1, 508.5.1 & 1412.1):** Operational fire hydrant(s) shall be installed within 250 feet of all combustible construction. They shall be installed and made serviceable prior to and during construction. No landscape planting, walls, or fencing is permitted within 3 feet of fire hydrants, except ground cover plantings.
- FID 40. **Fire Flow (CFC 508.3):** Fire flow requirements for buildings or portions of buildings and facilities are estimated to be 1,500 GPM with the installation of fire sprinklers based on Appendix B of the 2007 CFC.
- FID 41. **Identification (CFC 510.1):** Fire protection equipment shall be identified in an approved manner. Rooms containing controls for air-conditioning systems, sprinkler risers and valves, or other fire detection, suppression or control elements shall be identified for the use of the fire department. Approved signs required to identify fire protection equipment and equipment location, shall be constructed of durable materials, permanently installed and readily visible.
- FID 42. **NFPA 13R Sprinkler System Required (903.3.1.2).** Group R Occupancies, up to and including four stories in height, automatic sprinkler systems shall be installed throughout in accordance with NFPA 13R.
- FID 43. **Audible Water Flow Alarms (CFC 903.4.2):** An approved audible sprinkler flow alarm (Wheelock horn/strobe # MT4-115-WH-VFR with

WBB back box or equal) shall be provided on the exterior of the building in an approved location. An approved audible sprinkler flow alarm (Wheelock horn/strobe # MT4-115-WH-VFR with WBB back box or equal) to alert the occupants shall be provided in the interior of the building in a normally occupied location.

- FID 44. **Valve and Water-Flow Monitoring (CFC 903.4):** All valves controlling the fire sprinkler system water supply, and all water-flow switches, shall be electrically monitored. All control valves shall be locked in the open position. Valve and water-flow alarm and trouble signals shall be distinctly different and shall be automatically transmitted to an approved central station.
- FID 45. **Fire Alarm System:** Fire alarm system is required and installation shall comply with the requirements of NFPA 72, 2002 Edition.
- FID 46. **Portable Fire Extinguisher (CFC 906.1):** Portable fire extinguishers shall be installed. Provide one 2-A:10-B:C portable fire extinguisher for every 75 feet of floor or grade travel distance for normal hazards. Portable fire extinguishers shall not be obstructed or obscured from view. Portable fire extinguishers shall be installed so that the top is not more than 5 feet above the floor.

**END OF CONDITIONS**



**DRAWING INDEX**

- ARCHITECTURAL
  - A1.0 SITE PLAN
  - A2.0 FLOOR PLAN
  - A3.0 ROOF PLAN
  - A4.0 EXTERIORS
  - A5.0 BUILDING SET BACKS
- LANDSCAPE
  - L1.1 LANDSCAPE PLAN
- GENL
  - G1 TITLE SHEET/INDEX
  - G2 PRELIMINARY GRADING & DRAINAGE PLAN
  - G3 UTILILITY PLAN
- ELECTRICAL
  - E1.1 SITE ELECTRICAL PLAN
  - E1.2 SITE PHOTOGRAPHIC PLAN

**PROJECT STATISTICS**

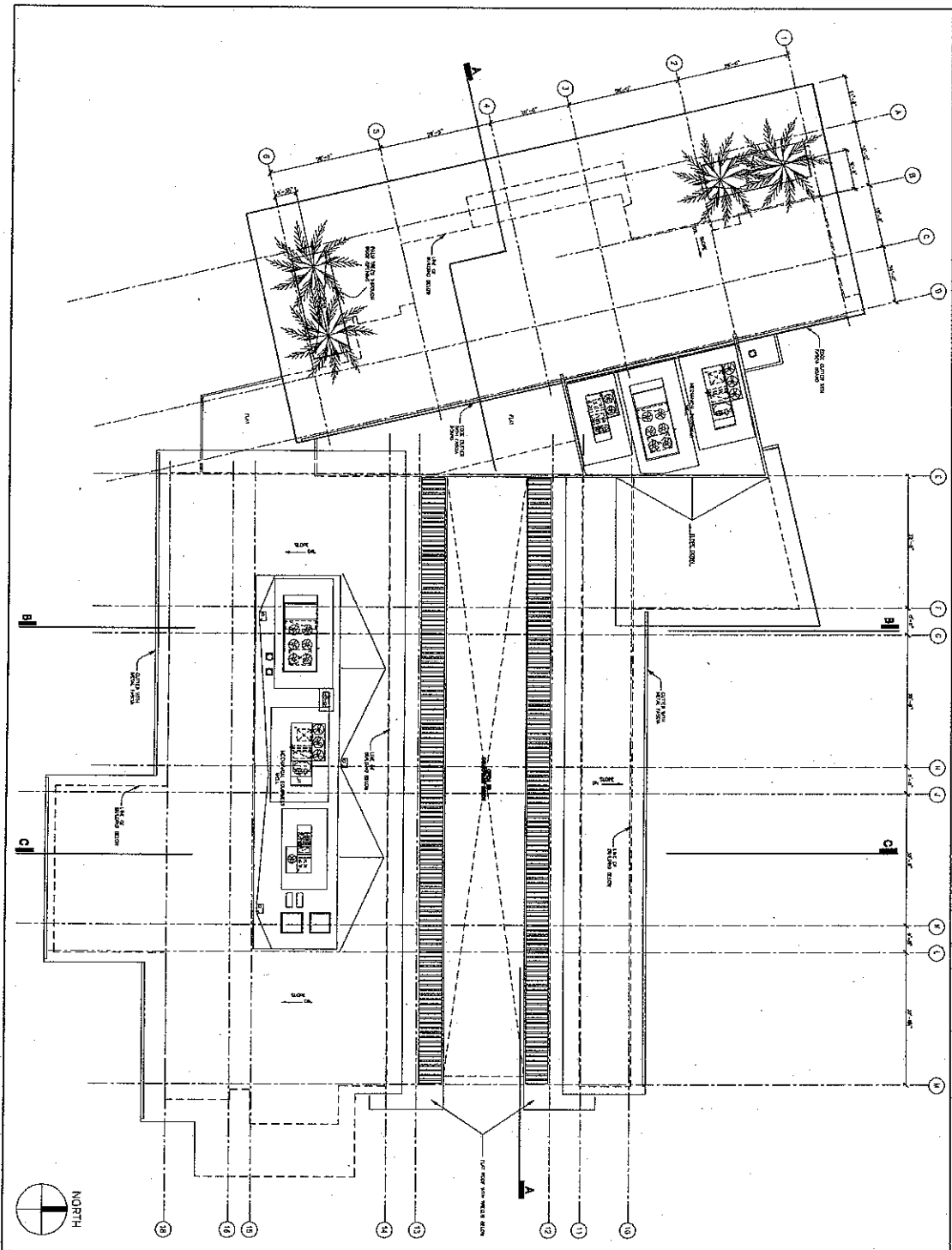
OWNER: CITY OF PALM SPRINGS  
 SITE AREA: 30.42 ACRES (106,000 SQ. FT.)  
 PERMITTED AREA: 16,211 SQ. FT.  
 OPEN SPACE: 14,209 SQ. FT.  
 ZONE: M1  
 CONFORMANCE: TYPE B  
 LEGAL DESCRIPTION: A PORTION OF THE NORTH HALF OF LOT 9 AS SHOWN BY MAP OF PALM SPRINGS AND COUNTY ROAD AND STREET BOOK 1416 CORRECTED AND SECTION OF SAN DIEGO COUNTY CALIFORNIA  
 ADDRESS: 4647 EAST MESQUITE AVE. PALM SPRINGS, CA  
 SQUARE FOOTAGE: 16,211 SQ. FT.  
 MAIN FLOOR: 16,211 SQ. FT.  
 CONDITIONED SPACE: 16,211 SQ. FT.  
 CLASSROOM COEFFICIENT: 1.00  
 PARKING: 94 SPACES  
 STAFF PARKING SPACES: 12 SPACES  
 VISITOR PARKING SPACES: 2 SPACES  
 COVERED RECREATION: 24 SPACES  
 VISITOR SPACES: 24 SPACES  
 TOTAL PARKING: 94 SPACES  
 LOADING SPACES: 2 SPACES

**City of Palm Springs**  
 ANIMAL CARE FACILITY

SWIFT LAMERS  
 ARCHITECTS  
 1000 N. PALM SPRINGS BLVD.  
 PALM SPRINGS, CA 92262  
 TEL: 760/325-1111  
 FAX: 760/325-1112

NO.	DATE	DESCRIPTION
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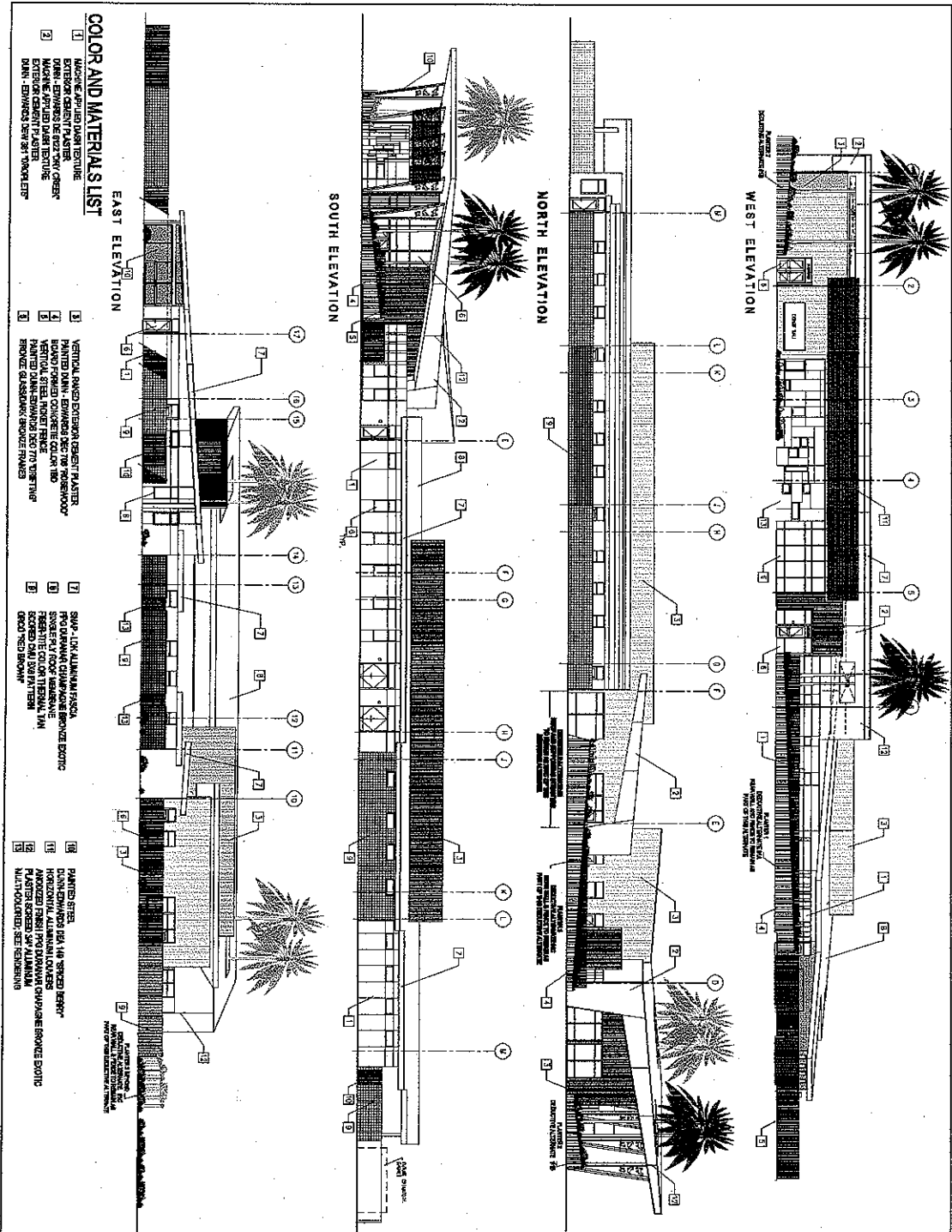
**CITY OF PALM SPRINGS  
ANIMAL CARE FACILITY**

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 FAX: 760.325.1112  
 www.cliffa.com

SHEET NO. 001  
 DATE 01/15/10  
 SCALE AS SHOWN  
 TEXT 1/15/10  
 ASO

NORTH



**COLOR AND MATERIALS LIST**

- 1 EXTERIOR WALL FINISH
- 2 EXTERIOR WALL FINISH
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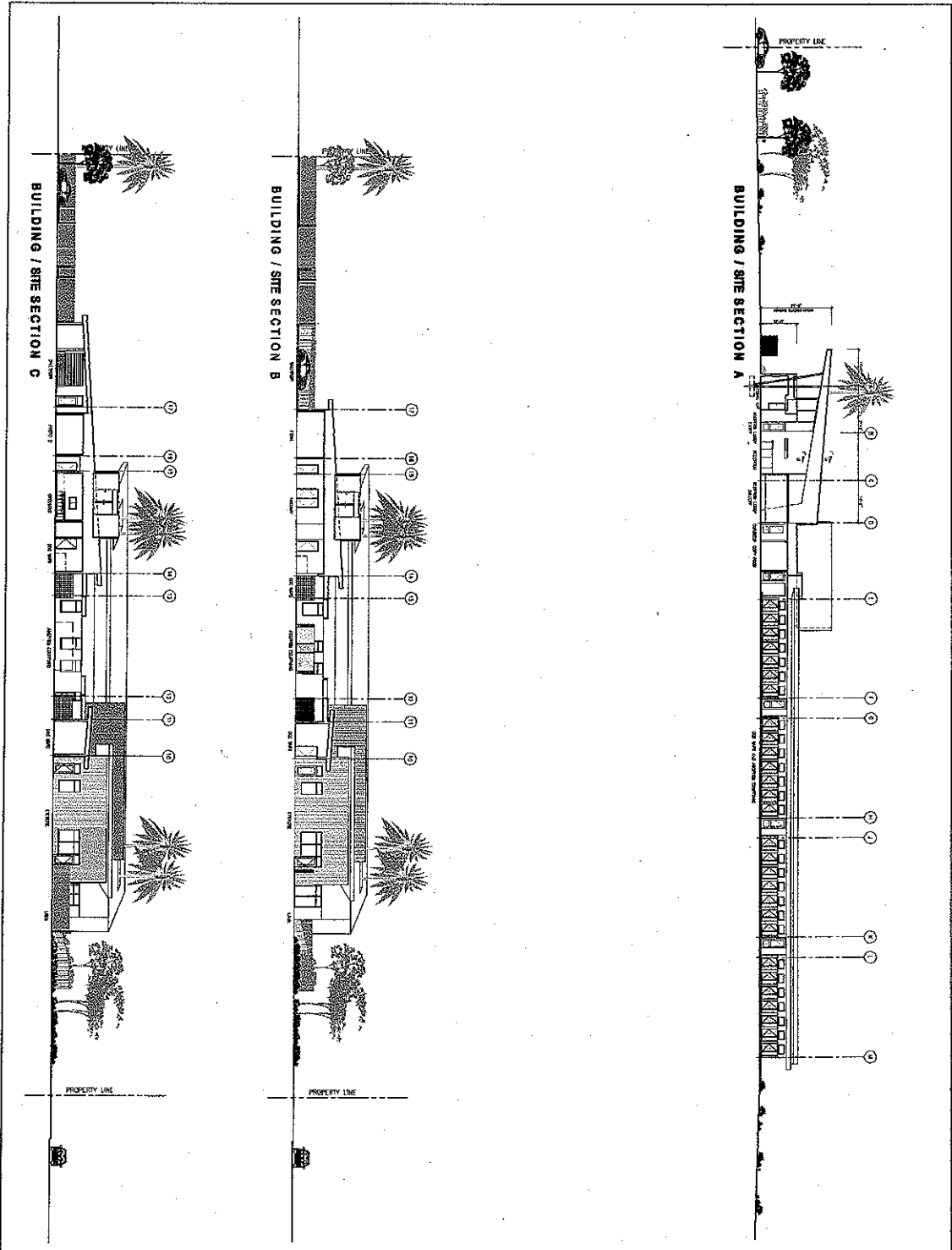
**SWATT ILMERS ARCHITECTS**  
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**City of Palm Springs**  
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 WWW.CHOFFA.COM

**Project Name:** ANIMAL CARE FACILITY  
**Project No.:** 1000  
**Scale:** 1/8" = 1'-0"  
**Drawn by:** C/I/M  
**Date:** 08/15/09  
**Sheet No.:** 08/15/09  
**Project Location:** PALM SPRINGS, CA  
**Project Status:** A-1.0





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 ARCHITECTS  
 4441 South Palm Canyon Drive  
 Palm Springs, CA 92262  
 760.325.1111  
 www.shirther.com

**CITY OF PALM SPRINGS  
 ANIMAL CARE FACILITY**

DATE: 08/14/09  
 DRAWN: [Name]  
 CHECKED: [Name]  
 PROJECT: ANIMAL CARE FACILITY  
 SHEET: A5.0

